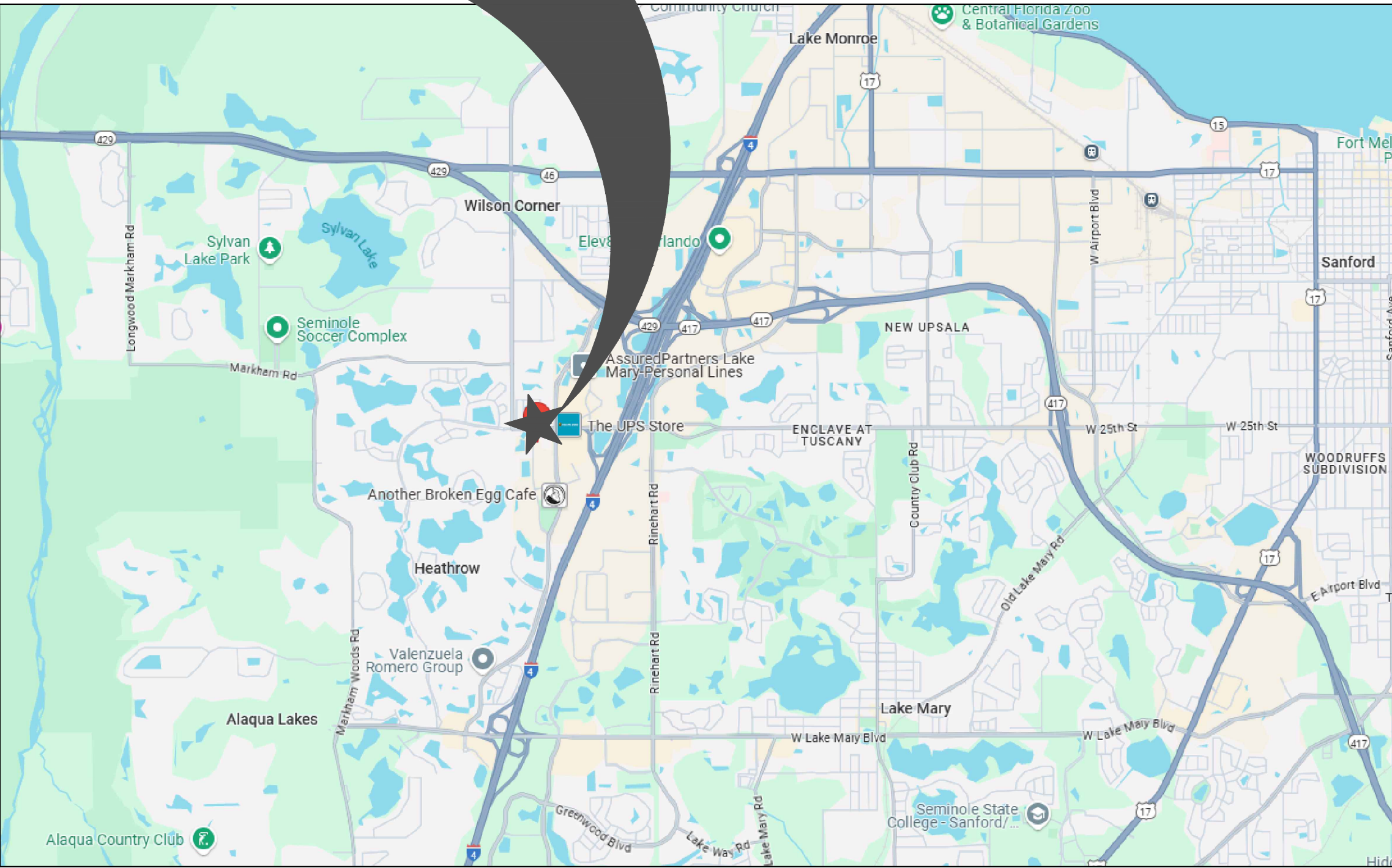
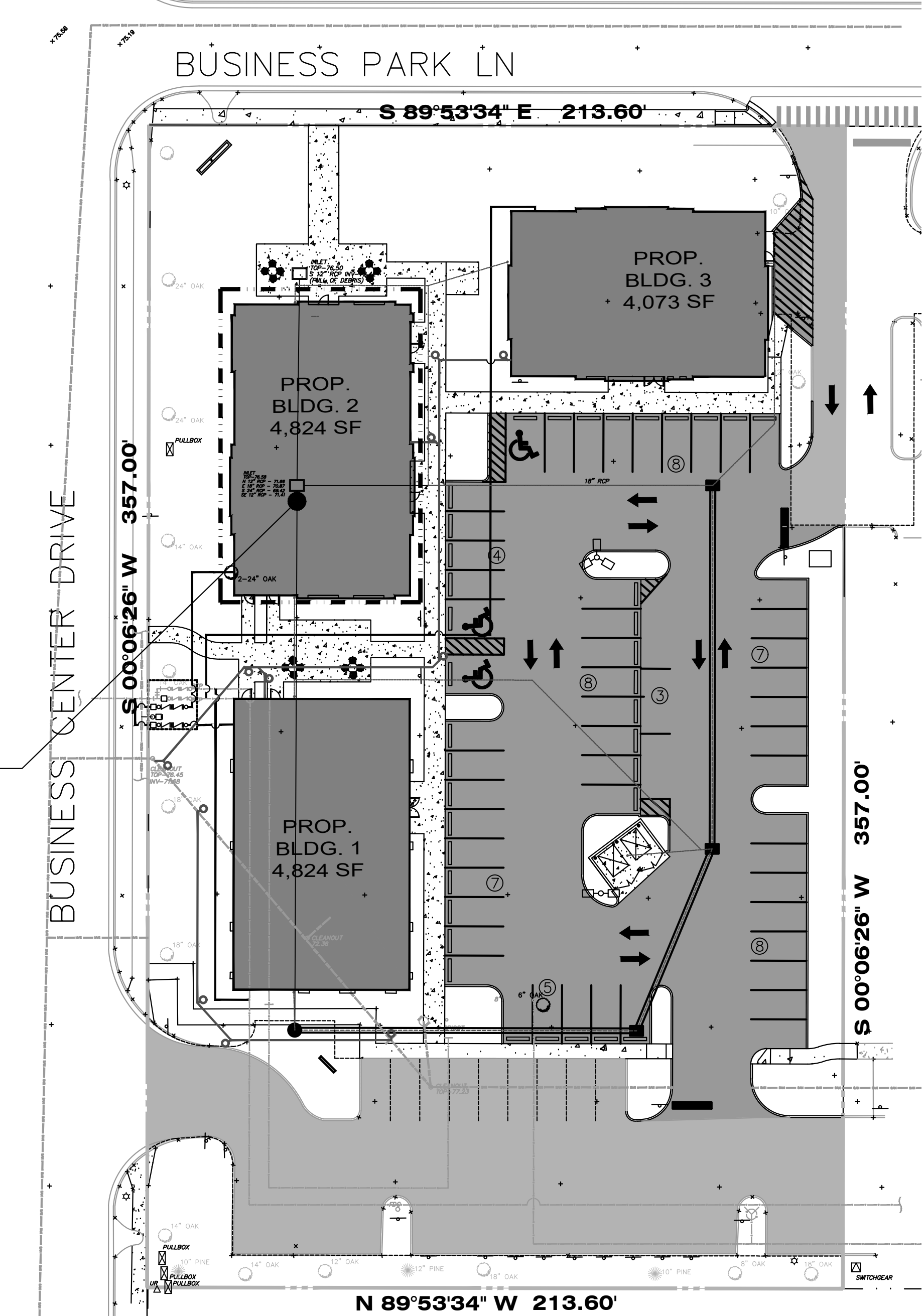


PROJECT SITE



SITE LOCATION

AREA OF WORK  
4,824 SF



1/A0.0 PROJECT KEY PLAN SCALE: N.T.S.

# HEATHROW CENTRE

## BUILDING 02 - NEW OFFICE BUILDING

1165 BUSINESS CENTER DRIVE  
LAKE MARY, FLORIDA 32746

### SCOPE OF WORK

NEW CONSTRUCTION OF A 4,824 SF OFFICE BUILDING INCLUDING STRUCTURAL FRAME, EXTERIOR CLADDING, A SET OF CONSTRUCTION DOCUMENTS FOR A BUILDING SHELL AS SHOWN BY THESE OCCUPANCY. THE PROJECT CONSISTS OF A ONE-STORY SHELL UNFURNISHED BUILDING, LANDSCAPING, SITE AND CIVIL WORK TO PROVIDE FOR GRADING, DRAINAGE, UTILITIES AND PARKING ASSOCIATED WITH THE NEW BUILDING. PROPOSED OCCUPANCY IS BUSINESS. BUILDING WILL BE CONSTRUCTED TO MEET ALL APPLICABLE BUILDING CODES AND REGULATIONS INCLUDING THE FLORIDA BUILDING CODE 8TH EDITION (2023). PROJECT IS PROPOSED AS A NEW CONSTRUCTION PER SECTION 203 OF THE FLORIDA BUILDING CODE 8TH EDITION (2023). SITE PLAN APPROVAL APPLICATION UNDER SEPARATE COVER BLD/2024-SP-08.

### PROPOSED BUSINESS OCCUPANCY

OVERALL BUILDING AREA SF = 4,824 S.F.  
SHELL AREA = 4,512 S.F.  
BUSINESS OCC: 4,512 S.F. @ 150 = 31P  
OTHER OCCUPANCIES GROUP B = 448 SF  
ROOF ACCESS 104: 108 SF @ 300 = 1P

TOTAL OCCUPANCY = 32P  
EXIT CAPACITY PROVIDED = 510P

OVERALL DIAGONAL = 102'-8"  
DISTANCE BETWEEN EXITS = 52'-4"  
COMMON PATH OF TRAVEL DISTANCE = 39'-0"  
MAX TRAVEL DISTANCE = 101'-5"

### LEGAL DESCRIPTION

SEC 04 TWP 30 RGE 30E PT OF LOTS 36 THRU 39 & THAT PT OF VACD ST ADJ ON W DESC AS BEG 373.83 FT S & 782.40 FT OF NW COR RUN E 213.6 FT S 357 FT W 213.6 FT N 357 FT TO BEG UNRECORDED PLAT OF SUBURBAN ESTATES

### BUILDING INFORMATION

#### APPLICABLE CODES

ALL CONSTRUCTION SPECIFIED ON THESE DOCUMENTS SUBMITTED FOR BUILDING PERMIT SHALL COMPLY WITH ALL CODES AND ORDINANCES OF CITY OF ORLANDO, FLORIDA, INCLUDING REVISIONS, AMENDMENTS AND APPENDICES TO THE FOLLOWING CODES:  
- FLORIDA BUILDING CODE 8TH EDITION (2023)  
- FLORIDA ACCESSIBILITY CODE 8TH EDITION (2023)  
- FLORIDA MECHANICAL CODE 8TH EDITION (2023)  
- FLORIDA PLUMBING CODE 8TH EDITION (2023)  
- FLORIDA FIRE PREVENTION CODE 8TH EDITION (2023)  
- FLORIDA ENERGY CONSERVATION CODE 8TH EDITION (2023)

#### ADDITIONAL APPLICABLE CODES

- NFPA 101 LIFE SAFETY CODE FLORIDA EDITION  
- NATIONAL ELECTRIC CODE 2020 EDITION  
- FLORIDA BUILDING CODE 8TH EDITION (2023)  
OCCUPANCY CLASSIFICATION  
FLORIDA BUILDING CODE, CHAPTER 3:  
BOL BUSINESS GROUP B  
BUSINESS GROUP B OCCUPANCY INCLUDES, AMONG OTHERS, THE USE OF A BUILDING OR STRUCTURE, OR A PORTION THEREOF, FOR OFFICE, PROFESSIONAL OR SERVICE-TYPE TRANSACTIONS, INCLUDING STORAGE OF RECORDS AND ACCOUNTS.

#### CONSTRUCTION CLASSIFICATION

INCLUDING BUT NOT LIMITED TO THE FOLLOWING:  
- TYPE V-8 NOT SPRINKLERED - NEW BUILDING  
FLORIDA BUILDING CODE, CHAPTER 6:  
TYPE V-8 NOT SPRINKLERED - NEW BUILDING

#### INTERIOR FINISHES

FLORIDA BUILDING CODE, CHAPTER 8:  
BUSINESS - GROUP B NOT SPRINKLERED  
INTERIOR WALL AND CEILING FINISHES REQUIREMENTS - TABLE 803.1

EXIT ACCESS CORRIDORS / EXITS: CLASS B  
ROOMS AND ENCLOSED SPACES: CLASS C

#### BUILDING/ UNIT INFORMATION

TENANT S.F. COMMON AREA S.F. TOTAL FLOOR S.F.  
N/A N/A 4,824 S.F.

#### ADDITIONAL PERMITS

ANY APPLICABLE PERMITS OR APPROVAL REQUIRED BY ANY OTHER GOVERNMENT AGENCY (DEP, DOT, SWFWMD, COUNTY, ETC.) ARE THE RESPONSIBILITY OF THE APPLICANT TO OBTAIN.

### CONTACT INFORMATION

#### OWNER

PROVIDENCE ONE PARTNERS

#### ARCHITECTURE/INTERIOR DESIGNER

CAMPBELL + VAN DUSEN DESIGN STUDIO  
255 SOUTH ORANGE AVENUE  
SUITE 1240  
ORLANDO, FLORIDA 32801  
407.930.6016  
CONTACT: FRANK W. CAMPBELL  
CONTACT: GLORIA VAN DUSEN

#### ELECTRICAL ENGINEERING

A.C.E. - ARCHITECTURAL CONSULTING  
ENGINEERING, INC. 651 MARSHALL LAKE  
ROAD, SUITE 100 APOPKA, FL 32703  
407.862.1901 CONTACT: GREG SIGLE

#### MECH & PLUMBING ENGINEERING

TAGS ENGINEERING  
1631 KATIE CV  
SANFORD, FL 32771  
407.463.9568  
CONTACT: TUGCE AGSAK

#### STRUCTURAL ENGINEERING

GUTHERMAN STRUCTURAL INC.  
130 CROWN OAK CENTRE DRIVE  
LONGWOOD, FLORIDA 32750  
PHONE: (407) 951-8065

CONTACT: JACK GUTHERMAN

#### CIVIL ENGINEERING

AMERICAN CIVIL ENGINEERING  
COMPANY  
207 N. MOSS ROAD, SUITE 211 WINTER  
SPRINGS, FLORIDA 32708 PHONE: (407)  
327-7700  
CONTACT: THOMAS H. SKELTON

## CONSTRUCTION DOCUMENTS

### SHEET INDEX

#### ARCHITECTURAL:

A0.0 COVER SHEET  
A0.1 NOTES  
A0.2 NOTES  
A0.3 NOTES  
A0.5 PARTITION TYPES  
A0.6 LIFE SAFETY PLAN  
A2.0 CONSTRUCTION FLOOR PLAN  
A2.1 DIMENSION FLOOR PLAN  
A2.2 DOOR SCHEDULE  
A2.3 DOOR & WINDOW DETAILS  
A3.0 REFLECTED CEILING PLAN  
A6.0 EXTERIOR ELEVATIONS  
A6.1 EXTERIOR ELEVATIONS  
A7.0 CROSS SECTIONS  
A7.1 WALL SECTIONS AND DETAILS  
A8.0 ROOF PLAN  
A8.1 ROOF DETAILS

#### STRUCTURAL:

S0.1 STRUCTURAL NOTES  
S0.2 STRUCTURAL SCHEDULES  
S0.3 TYPICAL DETAILS  
S2.0 FOUNDATION PLAN BLD 2  
S3.0 ROOF FRAMING PLAN BLD 2  
S4.1 FOUNDATION SECTIONS BDL 2  
S4.2 FRAMING SECTIONS BDL 2

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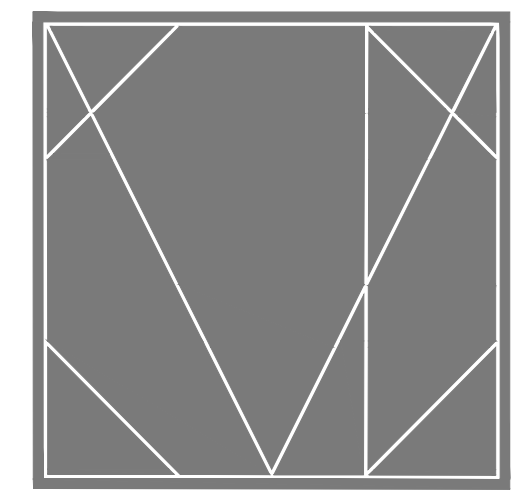
M2.0 MECHANICAL ROOF PLAN AND DETAILS

#### ELECTRICAL:

E001 SYMBOL LEGEND, GENERAL NOTES, AND ELECTRICAL SPECIFICATIONS  
E101 FLOOR PLAN - LIGHTING  
LIGHTING FIXTURES SCHEDULE  
E102 FLOOR PLAN - POWER AND SYSTEMS  
EQUIPMENT CONNECTION SCHEDULE  
E501 UL PENETRATION DETAILS  
E601 PANELBOARD SCHEDULES  
POWER ONE LINE DIAGRAM  
SCA LETTER

#### PLUMBING:

P1.0 PLUMBING SPECIFICATIONS  
P2.0 PLUMBING FLOOR PLAN DETAILS AND SPECIFICATIONS



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FRANK W. CAMPBELL AIA  
FL LIC. NO. AB00160523  
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SCALE

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SCALE

PROJECT DESCRIPTION:  
HEATHROW CENTRE  
BUILDING - 02  
EMPTY SHELL BUILDING  
1165 BUSINESS CENTER DRIVE  
LAKE MARY, FLORIDA, 32746

### CONSTRUCTION

DATE: 10.24.2025

REVISIONS

| NO. | DESCRIPTION | DATE |
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PROJECT TEAM  
PRINCIPAL IN CHARGE  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME  
Providence One Partners

PROJECT NUMBER

24-0919-01

SHEET TITLE

COVER SHEET

SHEET NUMBER

A0.0







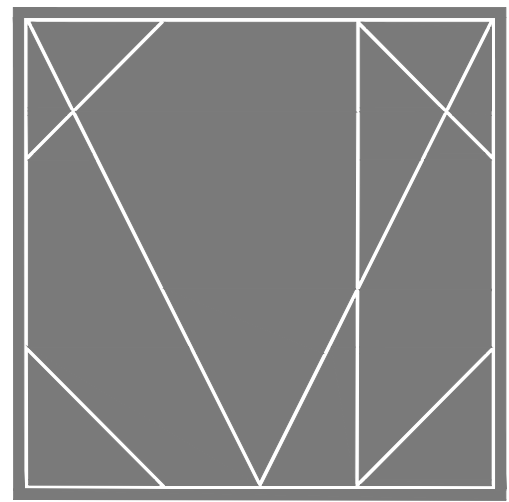












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SEAL

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CONSTRUCTION SEAL

PROJECT DESCRIPTION:  
HEATHROW CENTRE  
BUILDING - 02  
EMPTY SHELL BUILDING  
1165 BUSINESS CENTER DRIVE  
LAKE MARY, FLORIDA, 32746

DATE FOR

CONSTRUCTION

10.24.2025

REVISIONS

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PROJECT TEAM

PROJECT ARCHITECT

F. CAMPBELL

PROJECT MANAGER

B. BUCKLEY

CLIENT NAME

Providence One Partners

PROJECT NUMBER

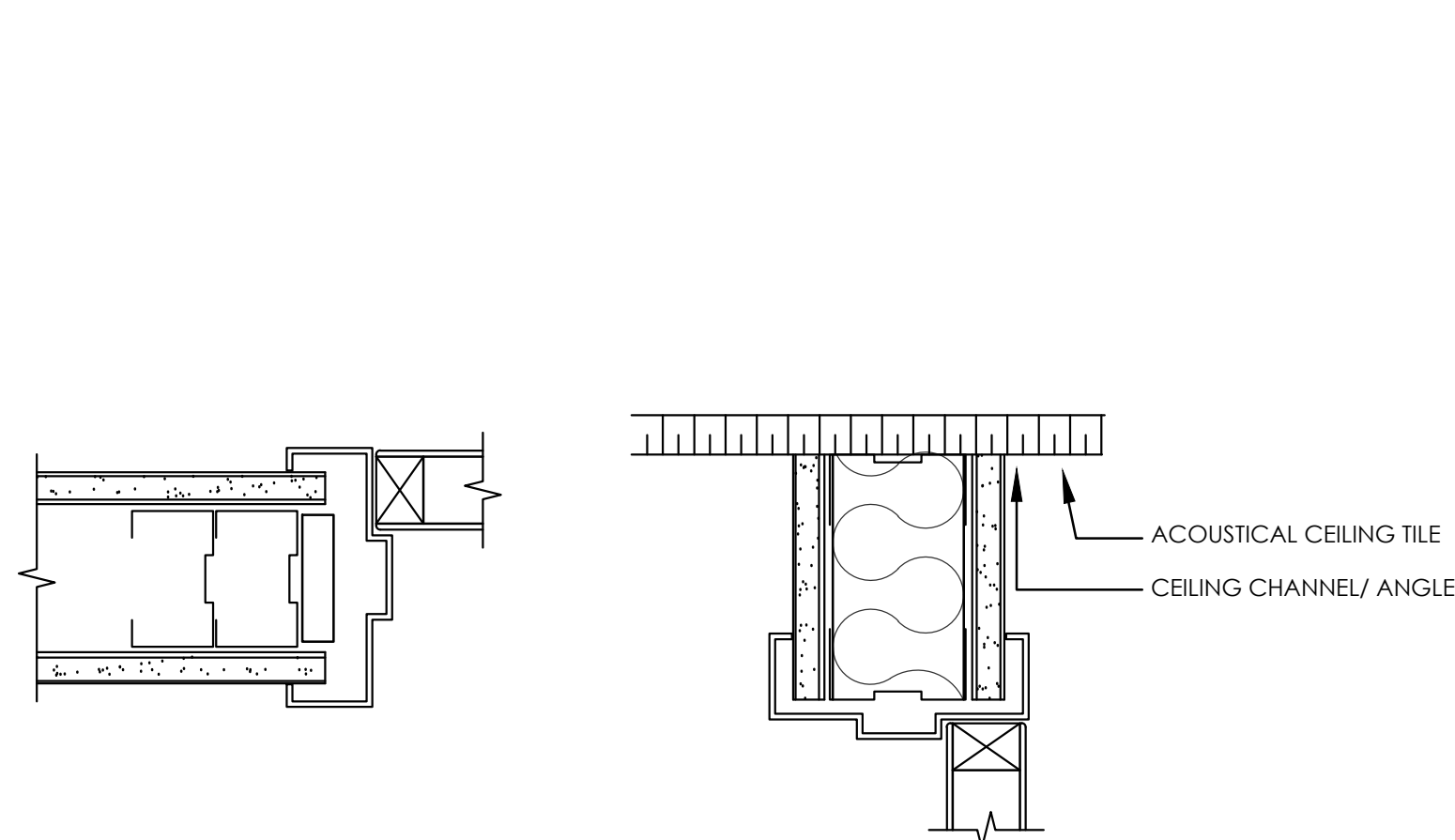
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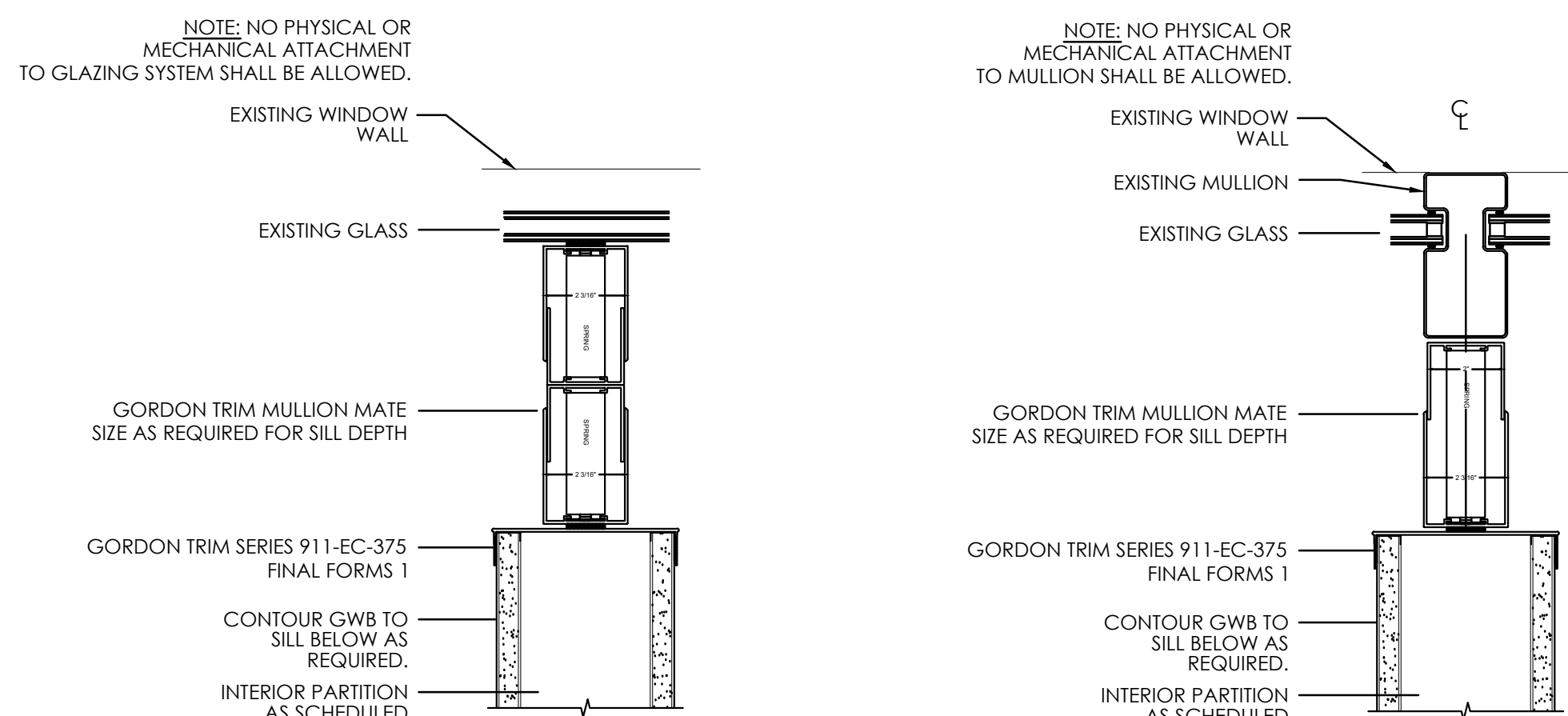
PARTITION TYPES/  
DETAILS

SHEET NUMBER

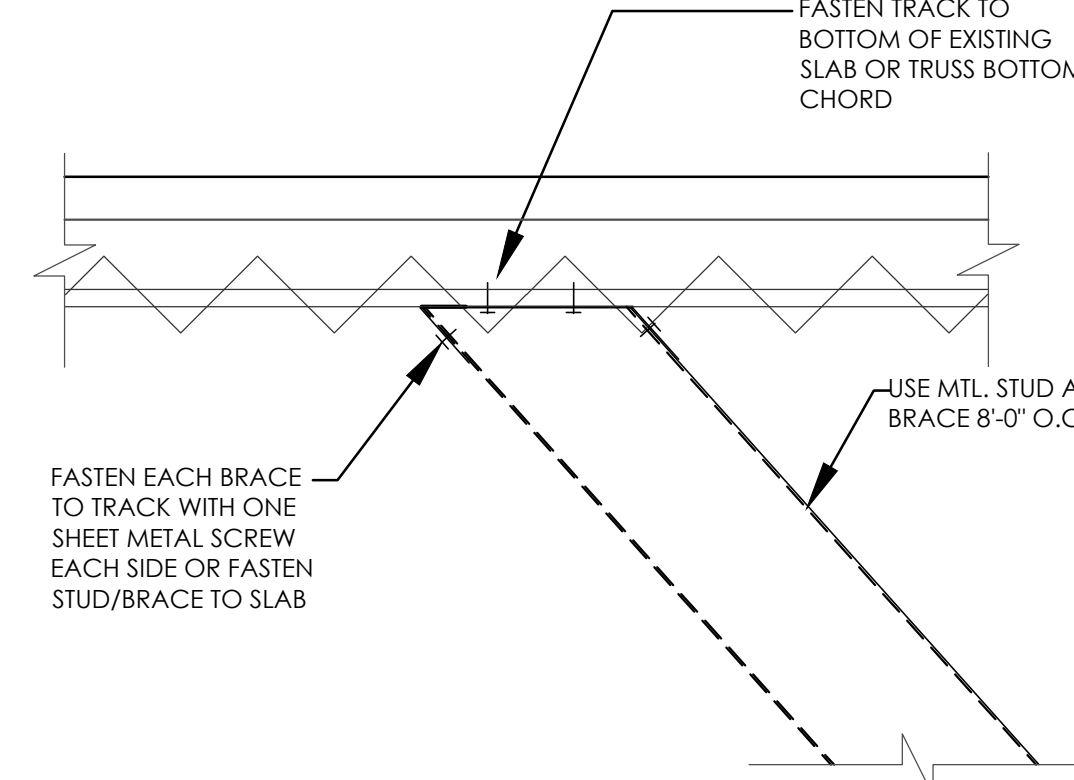
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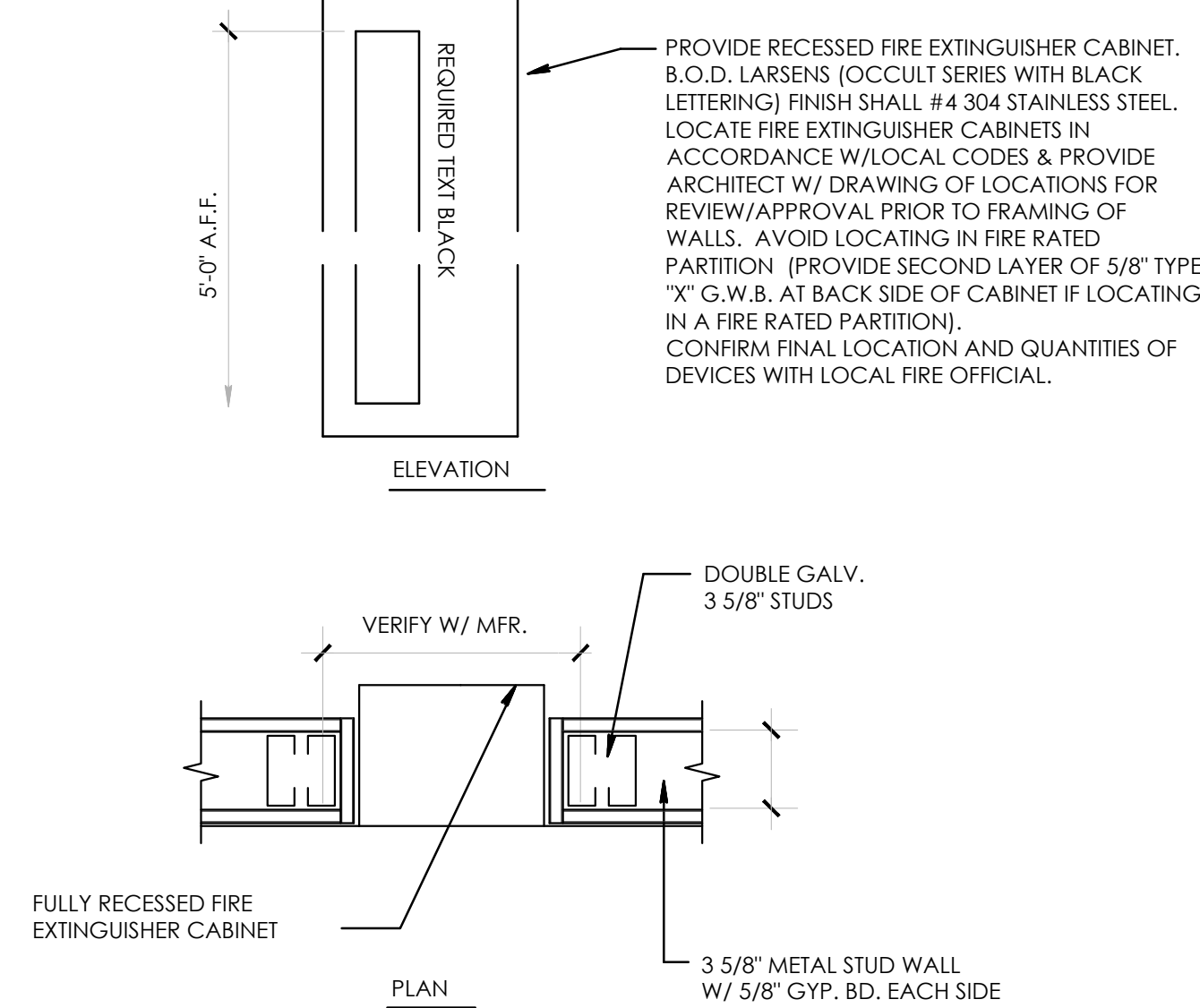
TYPICAL INTERIOR DOOR JAMB DETAIL TYPICAL INTERIOR DOOR HEAD DETAIL



PARTITION TO EXTERIOR GLAZING FLASE MULLION DETAIL TYPICAL PARTITION TO EXTERIOR STOREFRONT MULLION DETAIL

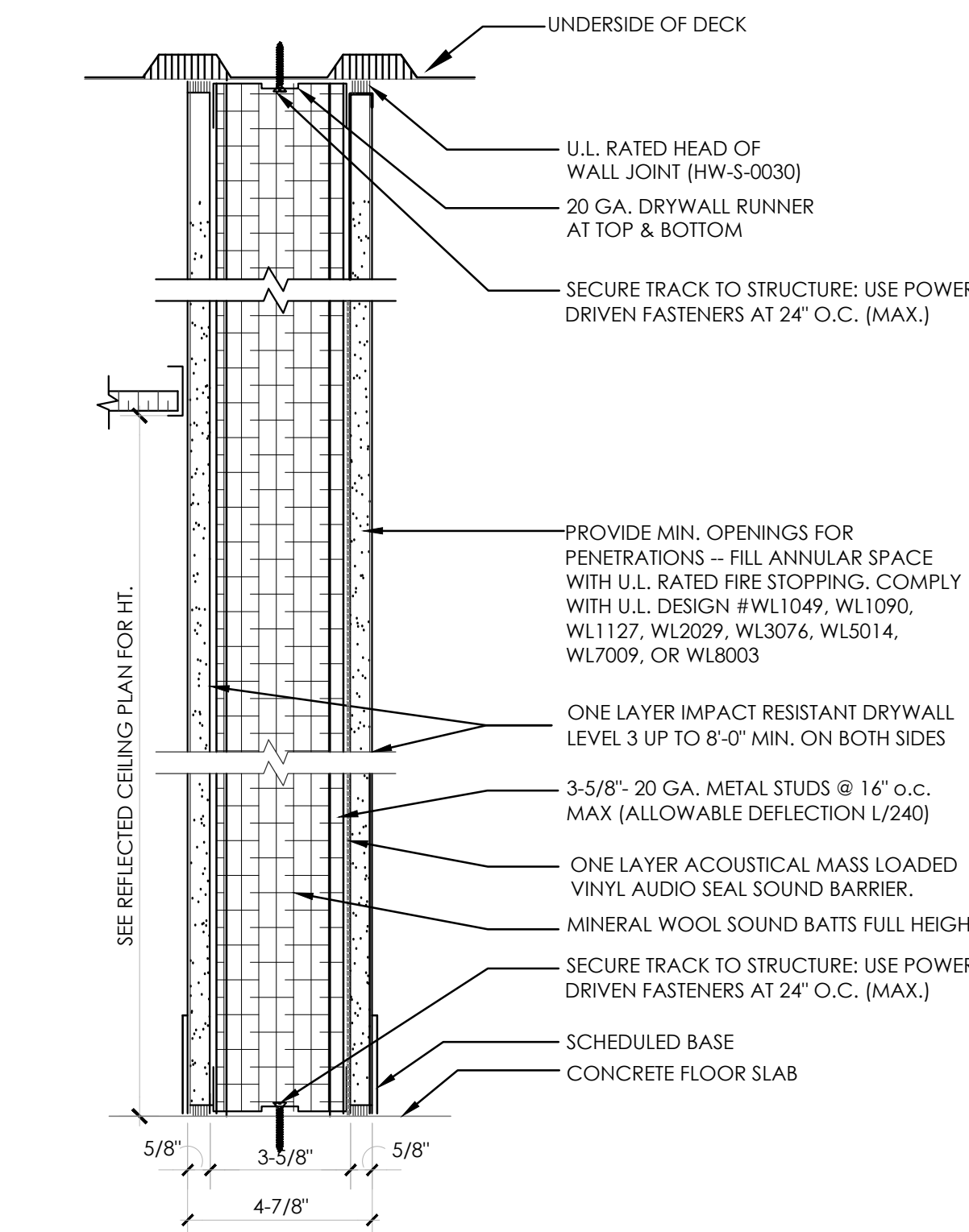


TYPICAL WALL/SOFFT BRACE TO B.O. SLAB

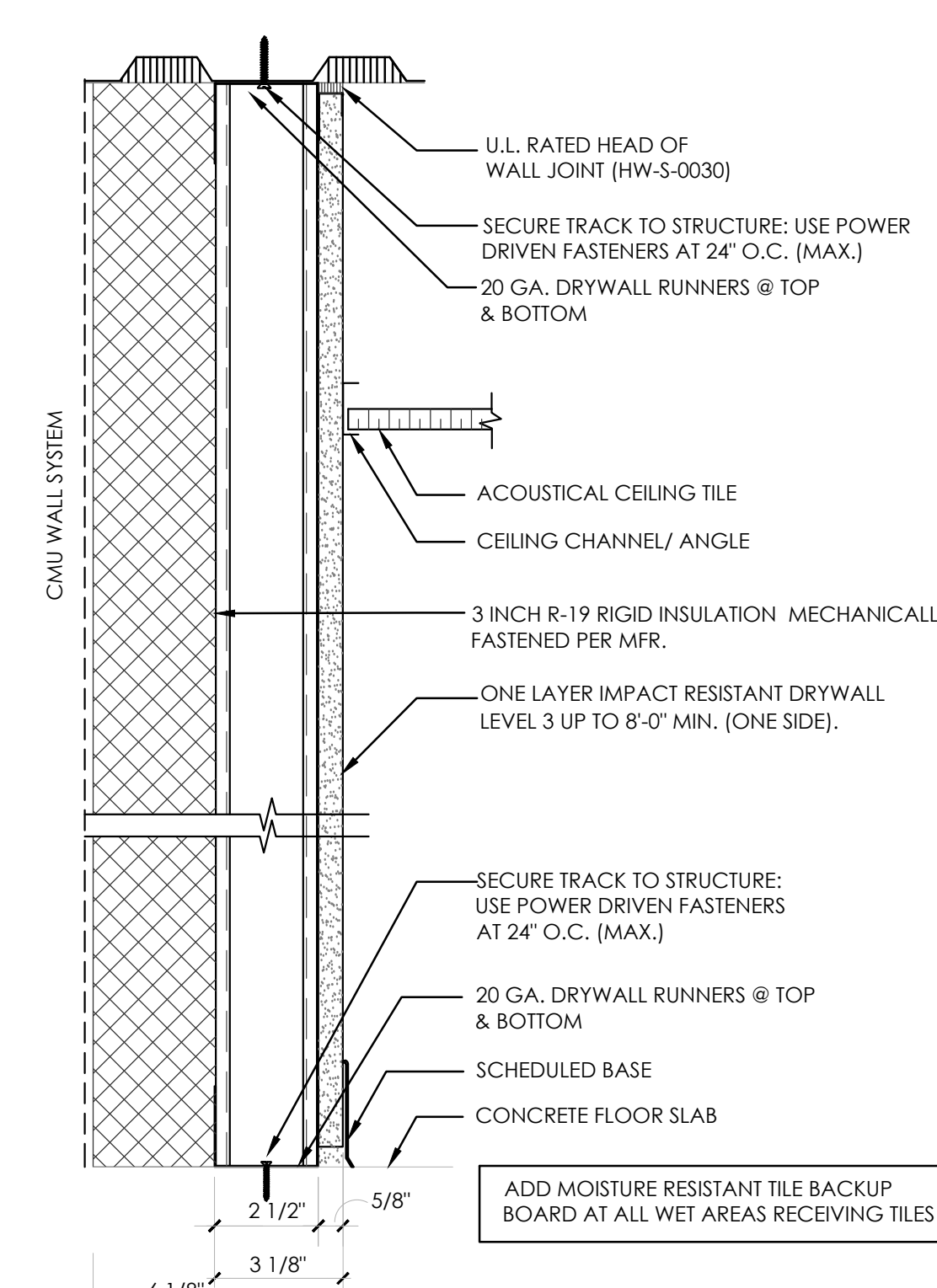


3/A0.5 DETAILS SCALE: N.T.S.

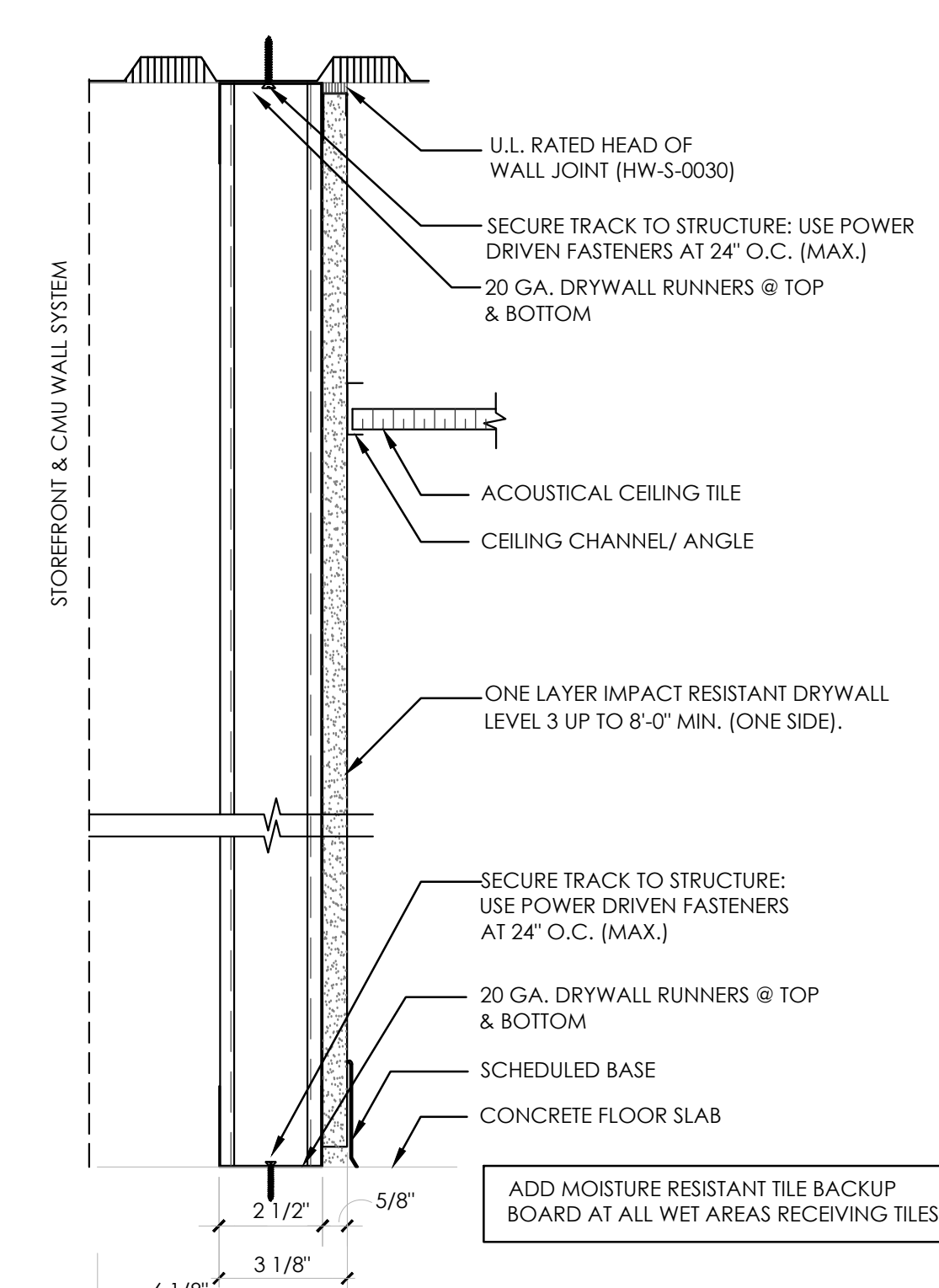
2/A0.5 DETAILS SCALE: 3" = 1'-0"



TYPE A - STRUCTURE TO STRUCTURE - SMOKE PARTITION



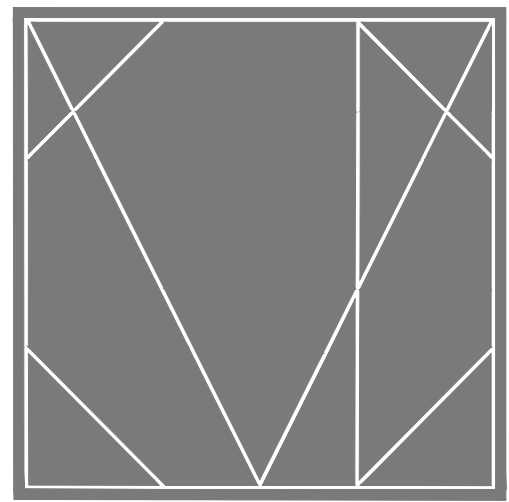
TYPE B - CHASE PARTITION TO STRUCTURE NON-RATED



TYPE B - CHASE PARTITION TO STRUCTURE NON-RATED

1/A0.5 WALL TYPES A/B/C/D/E/F/G/H SCALE: N.T.S.





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FL LIC. No. AA26003339

ARCHITECT OF RECORD  
FRANK W. CAMPBELL AIA  
FL LIC. NO. AR0016053  
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PROJECT DESCRIPTION:  
HEATHROW CENTRE  
BUILDING - 02  
EMPTY SHELL BUILDING  
1165 BUSINESS CENTER DRIVE  
LAKE MARY, FLORIDA, 32746

## CONSTRUCTION

10.24.2025

| NO. | DESCRIPTION | DATE |
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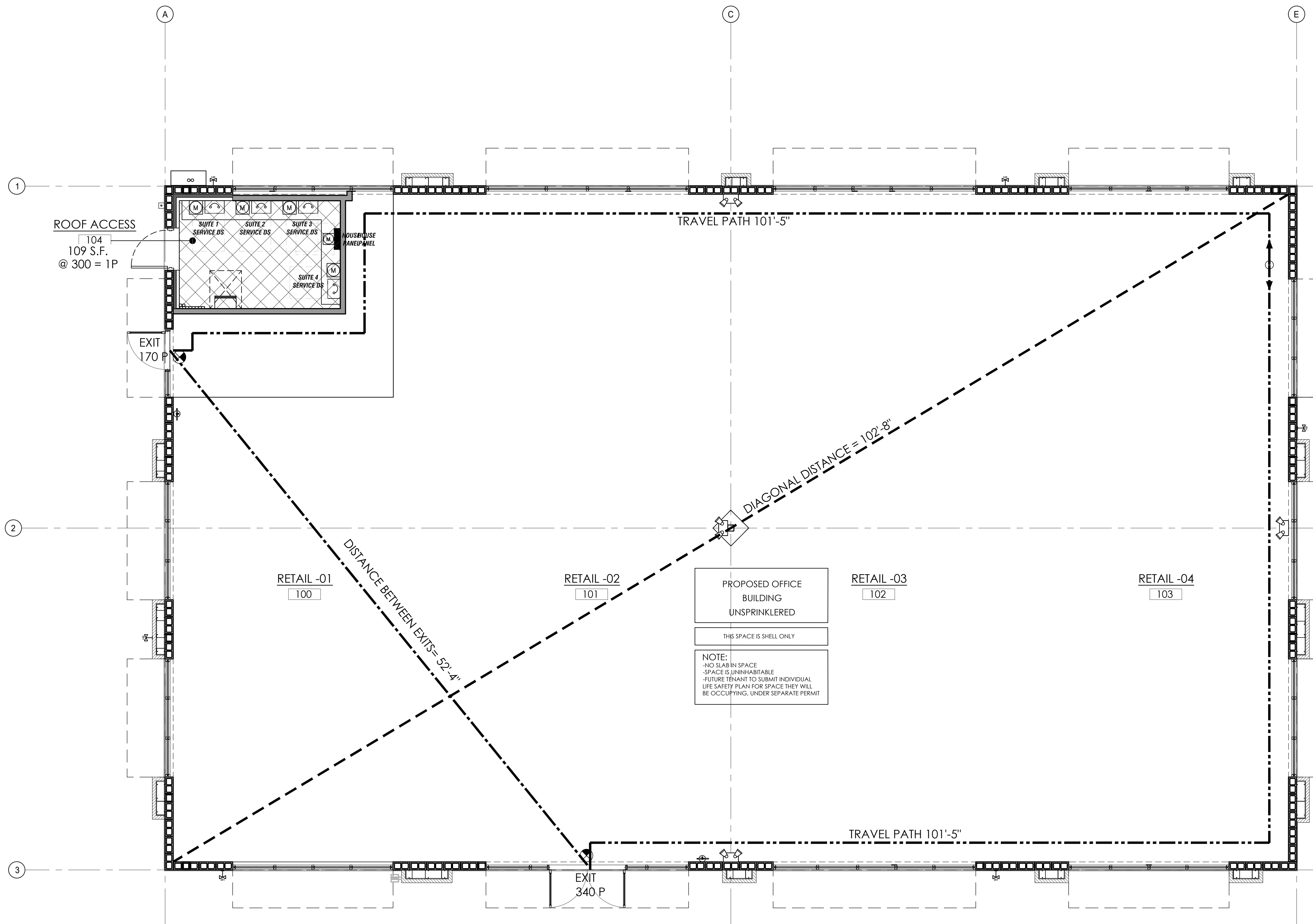
PROJECT TEAM:  
PROJECT MANAGER:  
F. CAMPBELL  
PROJECT MANAGER:  
B. BUCKLEY

CLIENT NAME:  
Providence One Partners

PROJECT NUMBER:  
24-0919-01

SHEET FILE:  
LIFE SAFETY PLAN - BLDG 2

SHEET NUMBER:  
A0.6



## 1/A0.6 LIFE SAFETY PLAN -BUILDING 2

SCALE: 1/4" = 1'-0"

### NOTES:

- BUILDING IS UN-SPRINKLERED; ALLOWABLE TRAVEL DISTANCE IS 250'-0" MAX.
- CONTRACTOR SHALL PROVIDE ONE ABC TYPE FIRE EXTINGUISHER FOR EVERY 3,000 S.F. OF BUILDING AREA. EXTINGUISHERS SHALL BE MOUNTED @48" AFF TO TOP OF HANDLE, AND NOT EXCEED 75' TRAVEL DISTANCE FROM ANY LOCATION INSIDE DE SPACE(S). COORDINATE LOCATION WITH OWNER PRIOR TO INSTALLATION. SHALL BE CURRENTLY TAGGED BY A LICENSED FIRE EQUIPMENT COMPANY.
- THERE IS AN ACCESSIBLE ROUTE FOR THE PUBLIC FROM ACCESSIBLE PARKING SPACES THROUGH RAMP, TO ENTRY DOORS AND INTO BUILDING. ALL PUBLIC AREAS ARE ACCESSIBLE AND HAVE NO LEVEL CHANGES GREATER THAN 1/2" EXCEPT AS PROVIDED BY RAMP.
- THIS BUILDING SHALL COMPLY WITH SECURITY AND FORCE ENTRY PREVENTION OF THE LATEST EDITION OF THE F.B.C.
- PROVIDE OCCUPANCY SIGN CONFORMING TO APPLICABLE BUILDING CODE REQUIREMENTS.
- DURING CONSTRUCTION THE G.C. IS TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A-10BC WITHIN 75' TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT.
- THE OPENING FORCE FOR INTERIOR SIDE-SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 9LB. FORCE. FOR OTHER SIDE-SWINGING, SLIDING OR FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15LB FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30LB FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15LB FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE.
- EMERGENCY LIGHTING W/ BATTERY BACKUP SHOWN FOR REFERENCE ONLY. FINAL LOCATION TO BE DETERMINED PENDING FINAL LOCATION OF TENANT SEPARATION INTERIOR WALLS.

### PROPOSED BUSINESS OCCUPANCY

OVERALL BUILDING AREA SF.....=4,824 S.F.  
SHELL AREA.....=4,512 S.F.  
BUSINESS OCC:.....4,512 S.F.@150= 31P

OTHER OCCUPANCIES GROUP B 448 SF

ROOF ACCESS 104: 108 SF@ 300=1P

TOTAL OCCUPANCY =32P

EXIT CAPACITY PROVIDED = 510P

OVERALL DIAGONAL =102'-8"

DISTANCE BETWEEN EXITS = 52'-4"

COMMON PATH OF TRAVEL DISTANCE = 39'-0"

MAX TRAVEL DISTANCE = 101'-5"

### LIFE SAFETY LEGEND

ALL DIMENSIONS ARE ON CENTER FROM FINISHED INTERIOR

| SYMBOL | DESCRIPTION   |
|--------|---|
| ◀      | DIRECTION OF TRAVEL   |
| —      | TRAVEL PATH   |
| ---    | DISTANCE BETWEEN EXITS  |
| - - -  | DIAGONAL DISTANCE   |
| ▬      | 1 HOUR FIRE RATED WALL ASSEMBLY   |
| ⊗      | EXISTING WALL HUNG FIRE EXTINGUISHER  |
| ◼      | NEW FLUORESCENT 2'X2' FIXTURE EMERGENCY LIGHT WITH 90 MINUTE BATTERY BACKUP.                |
| ⊕      | LIGHTED EXIT SIGN: TWO SIDED, FROM DUAL DIRECTION, W/BATTERY BACKUP.                        |
| ⊖      | LIGHTED EXIT SIGN: SINGLE SIDED, FROM SINGLE DIRECTION, W/BATTERY BACKUP.                   |
| ⊕⊖     | LIGHTED EXIT SIGN & DUAL EXIT LIGHTING COMBO: SINGLE AND OR DUAL DIRECTION W/BATTERY BACKUP |
| ⊕      | NEW WALL RECESSED FIRE EXTINGUISHER   |
| KX     | KEYNOTE SYMBOL  |

\* FOR SYMBOLS AND REQUIREMENTS SEE ELECTRICAL SHEETS.

### GENERAL NOTES

THE MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL BE:  
FOR EXITS AND EXIT ACCESS CLASS B  
FOR ALL OTHER AREAS CLASS C

### KEYED NOTES

NOTE:

104

PROVIDE RECESSED FIRE EXTINGUISHER CABINET, 8 O.D. LARSENS (OCUALI SERIES WITH BLACK LETTERING) FINISH SHALL #4 304 STAINLESS STEEL. LOCATE FIRE EXTINGUISHER CABINETS IN ACCORDANCE W/LOCAL CODES & PROVIDE ARCHITECT W/ DRAWING OF LOCATIONS FOR REVIEW/APPROVAL PRIOR TO FRAMING OF WALLS. AVOID LOCATING IN FIRE RATED PARTITION PROVIDE SECOND LAYER OF 5/8" THK 'X' G.I.B. AT BACK SIDE OF CABINET IF LOCATING IN A FIRE RATED PARTITION. CONFIRM FINAL LOCATION AND QUANTITIES OF DEVICES WITH LOCAL FIRE OFFICIAL.

1

EGRESS WILL BE MAINTAINED WHILE CONSTRUCTION IS ONGOING. MAINTAIN REQUIRED MEANS OF EGRESS AND REQUIRED FIRE PROTECTION FEATURES AS REQUIRED PER IFPC 6TH EDITION, NFPA 1, CHAPTER 4, SECTION 4.5.6.1.

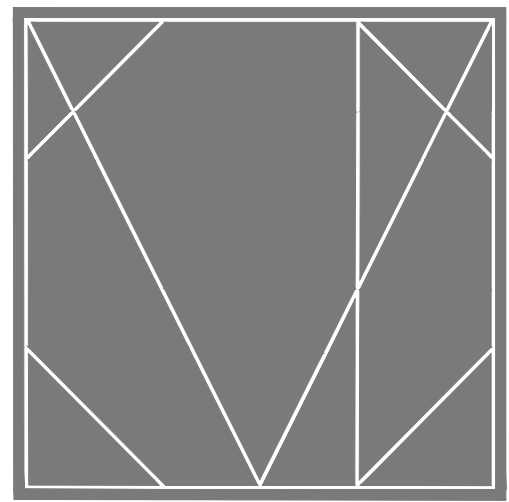
2

ACCUMULATIONS OF COMBUSTIBLE WASTE MATERIAL, DUST, AND DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF EACH WORK SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS. IFPC, NFPA 1, UNIFORM FIRE CODE, CHAPTER 16, SECTION 16.2.2.

### FIRE NOTES:

- ILLUMINATED EXIT SIGNS ARE PROVIDED THROUGHOUT THE SPACE. ALL EXIT SIGNS SHALL HAVE BATTERY BACKUP.
- THIS SPACE IS PROVIDED WITH APPROVED BATTERY POWERED EMERGENCY LIGHTING TO ILLUMINATE ALL REQUIRED MEANS OF EGRESS.
- DOORS ARE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE.
- EMERGENCY LIGHTING UNITS ARE TO BE WIRED INTO THE NORMAL LIGHTING CIRCUIT AND ARRANGED AS TO PROVIDE THE REQUIRED ILLUMINATION AUTOMATICALLY IN THE EVENT OF ANY INTERRUPTION OF NORMAL LIGHTING SUCH AS ANY FAILURE OF PUBLIC UTILITY OR OUTSIDE ELECTRICAL POWER SUPPLY, OPENING OF A CIRCUIT BREAKER OR FUSE, OR ANY MANUAL ACTS INCLUDING ACCIDENTAL OPENING OF SWITCH CONTROLLING NORMAL LIGHTING FACILITIES.
- THE ELEVATION OF THE FLOOR SURFACES ON BOTH SIDES OF A DOOR SHALL NOT VARY BY MORE THAN 1/2". THE ELEVATION SHALL BE MAINTAINED ON BOTH SIDES OF THE DOORWAY FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES IN EXCESS OF 1/4" SHALL BE BEVELED WITH A SLOPE OF NOT STEEPER THAN 1 IN 2.
- A LATCH OR OTHER FASTENING DEVICE ON A DOOR ARE PROVIDED WITH A RELEASING DEVICE HAVING AN OBVIOUS METHOD OF OPERATION AND THAT IS READILY OPERATED UNDER ALL LIGHTING CONDITIONS. THE RELEASING MECHANISM FOR ANY LATCH SHALL BE NOT LESS THAN 34", AND NOT MORE THAN 48" ABOVE FINISH FLOOR. DOORS SHALL BE OPERABLE WITH NOT MORE THAN ONE RELEASING OPERATION.
- ALL FIRE THRU PENETRATIONS & WALL TYPE ASSEMBLIES SHOWN ON THIS CONTRACT DOCUMENTS ARE BASED UPON MANUFACTURE'S PRODUCT SPECIFIC PROPERTIES & REQUIREMENTS AS SUBMITTED BY PRODUCT MANUFACTURE TO THE INDEPENDENT AGENCY FOR TESTING AS A COMPLETE ASSEMBLY.
- AT THE ARCHITECT DISCRETION & WITH OWNER'S APPROVAL, G/C MAY SUBMIT DURING SHOP DRAWING REVIEW ALTERNATE MANUFACTURES FOR REVIEW. BURDEN OF PROOF SHALL REST ONLY ON THE G/C. ALTERNATE ASSEMBLIES SHALL BE SUBMITTED AS A COMPLETE PACKAGE, INCLUDING BUT NOT LIMITED ALL PRODUCT DATA SHEETS COVERING PROPOSED ASSEMBLY. BEARING UL ASSEMBLY REQUIREMENTS TO MEET OR EXCEED FIRE RATED CONDITIONS NOTED ON THE CONTRACT DOCUMENT & EXPLANATION AS TO WHY SYSTEM NOTED ON CONSTRUCT DOCUMENTS IS BEING CHANGED.
- SHOP DRAWINGS SHALL BE REVIEW FOR COMPLIANCE FOR COMPLETENESS PRIOR TO ISSUANCE FOR ARCHITECTS REVIEW.





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ARCHITECT OF RECORD  
FRANK W. CAMPBELL AIA  
FL LIC. NO. AR0016053  
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PROJECT DESCRIPTION:  
HEATHROW CENTRE  
BUILDING - 02  
EMPTY SHELL BUILDING  
1165 BUSINESS CENTER DRIVE  
SUITE 1025 AND SUITE 1075  
LAKE MARY, FLORIDA. 32746

CONSTRUCTION

10.24.2025

| NO. | DESCRIPTION | DATE |
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PROJECT TEAM  
PROJECT MANAGER  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME  
Providence One Partners

PROJECT NUMBER  
24-0919-01

SHEET FILE

FLOOR PLAN

SHEET NUMBER

A2.0

## PLAN NOTES:

(BOXED NOTE NUMBERS ARE KEYED TO PLAN)

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK WITH THE BUILDING LANDLORD WITH REFERENCE TO ROOF WARRANTIES AND/OR THE PRESCRIBED REQUIREMENTS FOR NEW ROOF PENETRATIONS. IN NO CASE SHOULD CONTRACTOR DO ANYTHING TO VOID ROOF WARRANTIES. CONTRACTOR IS REQUIRED TO HAVE BUILDING LANDLORD'S ROOFING CONTRACTOR MAKE, SUPERVISE, OR APPROVE ALL NEW ROOF PENETRATIONS.

1A THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL MAKE REDLINE AS-BUILT NOTES ON THE DRAWINGS OF ALL DEVIATIONS FROM THE PLANS MADE DURING THE COURSE OF CONSTRUCTION. CONTRACTOR SHALL SUBMIT REDLINE NOTES AND DRAWINGS TO THE ARCHITECT AT THE COMPLETION OF CONSTRUCTION. IF NO DEVIATIONS OR CHANGES HAVE BEEN MADE DURING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A LETTER TO THE ARCHITECT STATING THAT NO CHANGES WERE MADE.

1B SUBCONTRACTORS SHALL GIVE TO CONTRACTOR PRODUCT LITERATURE FOR INSTALLED EQUIPMENT AND PRODUCTS THAT REQUIRE MAINTENANCE OF ANY TYPE (INCLUDING RELAMP OF LIGHT FIXTURES) AND ANY MAINTENANCE INSTRUCTIONS OR WARRANTIES AND THE CONTRACTOR SHALL OBTAIN PHONE NUMBERS AND ADDRESSES OF CONTRACTS FOR REPAIR/MAINTENANCE AND BIND ALL OF THIS INFORMATION IN AN 8 1/2 X 11 NOTEBOOK. THIS MANUAL SHALL ALSO INCLUDE A COMPLETE LISTING OF IDENTIFICATION FOR ALL FINISH MATERIALS INCLUDING CEILING TILE, FLOOR TILE AND CARPET, AND PLASTIC LAMINATE AND PAINT. CONTRACTOR SHALL DELIVER THIS PROJECT MAINTENANCE MANUAL TO OWNER AT COMPLETION OF PROJECT.

1C THIS IS EQUIPMENT OR FURNITURE, NOT CONSTRUCTION. SEE EQUIPMENT/MEP DRAWINGS FOR PREPARATION AND COORDINATION REQUIRED BY CONTRACTOR. ALL SUBCONTRACTORS SHALL CONTACT AND COORDINATE WITH EQUIPMENT SUPPLIER FOR LAYOUT TEMPLATES AND VERIFICATION/REVIEW OF ROUGH-INS.

3A POUR SLABS AND STOOPS FLUSH WITH FINISH FLOOR AT DOOR AND SLOPE AWAY FROM THE BUILDING AT A MAXIMUM SLOPE OF 1:50'

3B CONCRETE SLAB TO BE 4" MINIMUM THICK. FOR REQUIREMENTS SEE STRUCTURAL DRAWINGS.

5K GRAB BARS @ HANDICAP TOILETS:  
1 1/2" DIA., 1 1/2" CLEAR FROM WALL, 33"-36" ABOVE FINISHED FLOOR ANCHORED TO SUPPORT 250 LBS.  
ONE 42" LONG AT SIDE OF TOILET.  
ONE 36" LONG BEHIND TOILET.  
[SEE TOILET ROOM DETAILS FOR PLACEMENT.]

6A TYPICAL INTERIOR NON-BEARING WALLS: 3 5/8" 20 GA. MTL STUDS @ 16" O.C. WITH TOP AND BOTTOM RUNNER AND 5/8" GYP BOARD ON BOTH SIDES.

6B INTERIOR BEARING WALLS:  
6" 20 GA. MTL STUDS @ 16" O.C. WITH TOP AND BOTTOM RUNNERS AND 5/8" GYP BOARD ON BOTH SIDES. SEE WALL TYPE "D" DTLS & SCTNS.

6D CHASE WALLS: 3 5/8" METAL STUDS @ 24" O.C. WITH MOISTURE-RESISTANT 5/8" GYP. BOARD ON ONE SIDE.

6F PROVIDE 3 1/2" WIDE 12 GA. MTL BLOCKING STRIPS @ MOUNTING LOCATIONS OF BUILT-IN OR SURFACE-MOUNTED ACCESSORIES INCLUDING TOILET GRAB BARS AND WALL MOUNTED LCD SCREENS. AT CABINETS, PROVIDE 1X6 FIRE-RETARDANT-TREATED WOOD BACKING. VERIFY SIZE AND LOCATION OF THIS BLOCKING WITH PRODUCT/EQUIPMENT/CABINET INSTALLATION RECOMMENDATIONS OR NEEDS.

6K ALL WOOD FRAMING SHALL BE KILN-DRIED AND HAVE A MINIMUM FIBER STRESS OF 1200 PSI.

6Q CEILING: SEE RCP AND SECTIONS AND DETAILS ON REFLECTED CEILING PLAN. DIMENSIONS AND ELEVATIONS SHOWN ON THESE SHEETS ARE FINISHED. ALL CEILING FRAMING TO BE @ 24" O.C. W/GYPSUM BOARD FINISH.

6R ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED OR HAVE AN APPROVED SEPARATING MATERIAL.

6X PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING AT ALL WALL MOUNTED CABINETS AND WALL MOUNTED LCD SCREENS FOR MOUNTING.

7A SEALANT: APPLY SEALANT AT JOINING OF ALL DISSIMILAR MATERIALS EXPOSED TO WEATHER AND AT GAPS EXPOSED TO VIEW.

7B SEALANT: PROVIDE A FULL BED OF SEALANT AT WINDOW AND DOOR FRAMES (INCLUDING THRESHOLD) AND A CONTINUOUS BEAD AT PERIMETER OF EXTERIOR AND INTERIOR WINDOWS AND DOORS.

7H SOUND BATT INSULATION IN INTERIOR WALLS AS INDICATED. SEE WALL LEGEND, THIS SHEET, AND WALL TYPES. SHEET A0.4 AND A0.5

7P ROOF PENETRATIONS: AT ALL ROOF PENETRATIONS, THE CONTRACTOR SHALL PROVIDE AND INSTALL FLASHING BOOT COMPATIBLE WITH THE ROOFING MATERIAL AND INSTALLED AS PER ROOFING MFR'S SPECS.

8A ALL GLASS IN DOORS OR SIDELIGHTS SHALL BE TEMPERED AND SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2023, SECTION 2406, SAFETY GLAZING. GLASS IN RATED DOORS SHALL COMPLY W/RATING OF DOOR.

8B ALL DOOR HARDWARE SHALL MEET CURRENT ADA AND FLORIDA ACCESSIBILITY CODES.

8C NOT USED

8F PROVIDE WINDOW SILLS (MATCH EXISTING BUILDING STANDARD) @ INTERIOR OF EACH WINDOW UNIT NOTED.

9B 1/2" GYP BOARD MAY BE USED ON SIDES AND BOTTOM OF DROPPED SOFFITS UNLESS NOTED OTHERWISE.

9C AT ALL CHANGES IN FLOOR MATERIAL, PROVIDE APPROPRIATE ADA-COMPLIANT TRANSITION STRIP. IF AT DOOR, LOCATE DIRECTLY UNDER DOOR.

9E WHEN NOT INDICATED ON PLANS, VERIFY COLOR AND PATTERN SELECTIONS WITH OWNER.

9F PROVIDE BLACK OUT WINDOW FILM, AT WINDOW GLAZING LOCATION.

9K FILL IN DRYWALL AT DEMOLISHED WALL LOCATIONS. TAPE AND FINISH NEW DRYWALL TO BE FLUSH WITH ADJACENT REMAINING WALL.

9N ALL TOILETS: USE 5/8" MOISTURE RESISTANT GYPSUM BOARD ON BATHROOM SIDE OF ALL WALLS BEHIND A TOILET AND/OR LAVATORY.

9Y LEAVE 1/2" GAP BETWEEN FINISH FLOOR AND BOTTOM EDGE OF GYPSUM BOARD.

9Z PREPARE ALL WALLS FOR PAINT, TO A GA 216 LEVEL 4 DRYWALL FINISH.

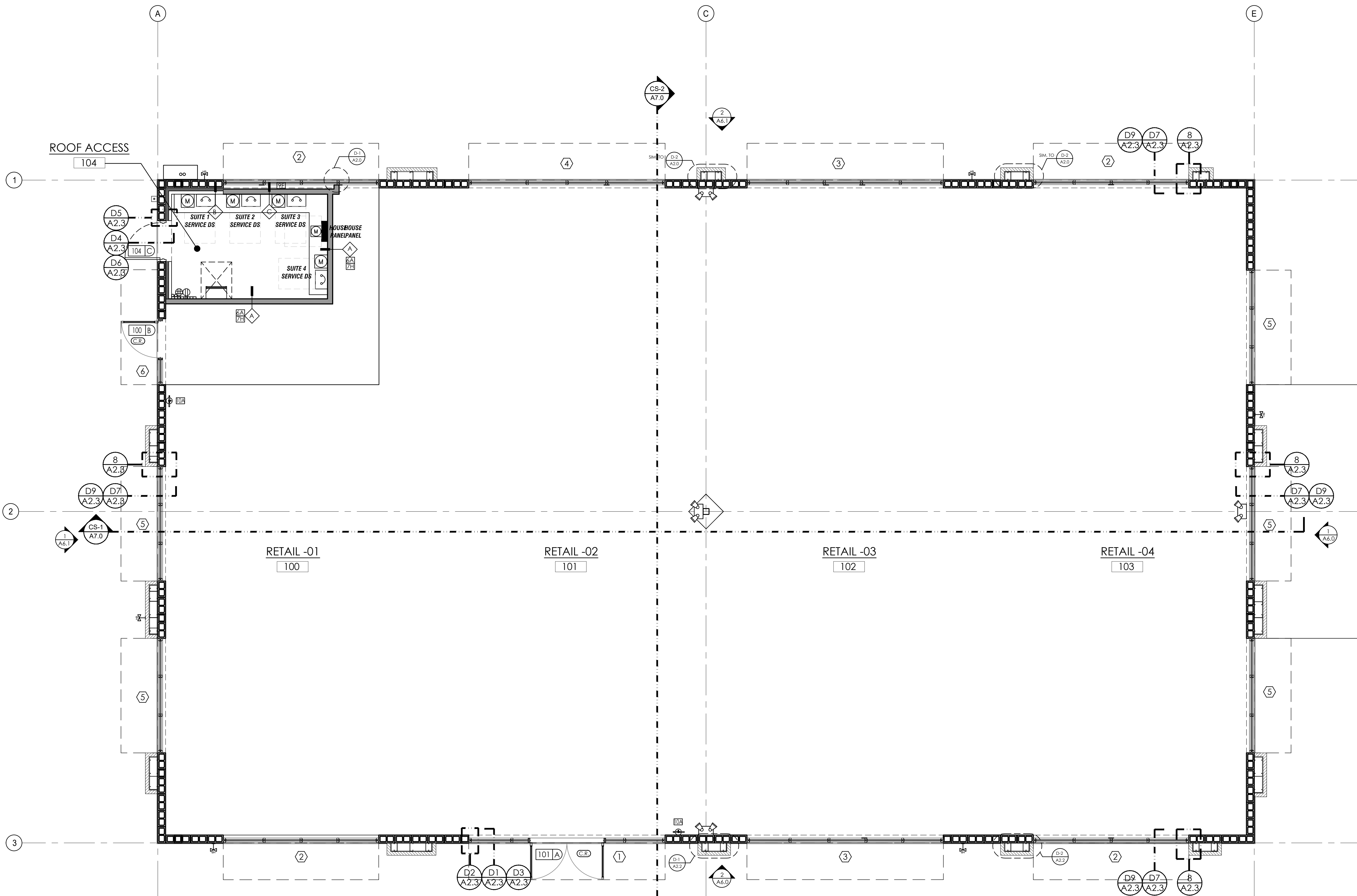
10A PROVIDE AND INSTALL TYPE 2A10 BC FIRE EXTINGUISHER (S) WHERE SHOWN ON PLAN. THE TOP OF FIRE EXTINGUISHER SHALL NOT BE MORE THAN 5 FT. ABOVE THE FLOOR (3 1/2 FT. IF FIRE EXTINGUISHER'S GROSS WEIGHT IS MORE THAN 40 LBS) AND BOTTOM NOT LESS THAN 4 INCHES ABOVE THE FLOOR.

10B RAISED/BRAILLED CHARACTERS & PRACTICAL SYMBOL SIGNS  
LETTERS AND NUMERALS SHALL BE RAISED 1/32 IN. UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE, AND SHALL BE ACCOMPLISHED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8 IN (16 MM) HIGH, BUT NO HIGHER THAN 2 IN (50 MM). PICTOGRAMS SHALL BE ACCOMPLISHED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6 IN (152 MM) MINIMUM IN HEIGHT. ALL SIGNAGE SPECIFIED AND INSTALLED BY CLIENT.

MOUNTING LOCATIONS AND HEIGHT  
SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE TOILET RM DOORS. MOUNTING HEIGHT SHALL BE 60 IN. (1525 MM) ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. (IF LATCHSIDE UNAVAILABLE USE NEAREST ADJACENT WALL FOR SIGN)

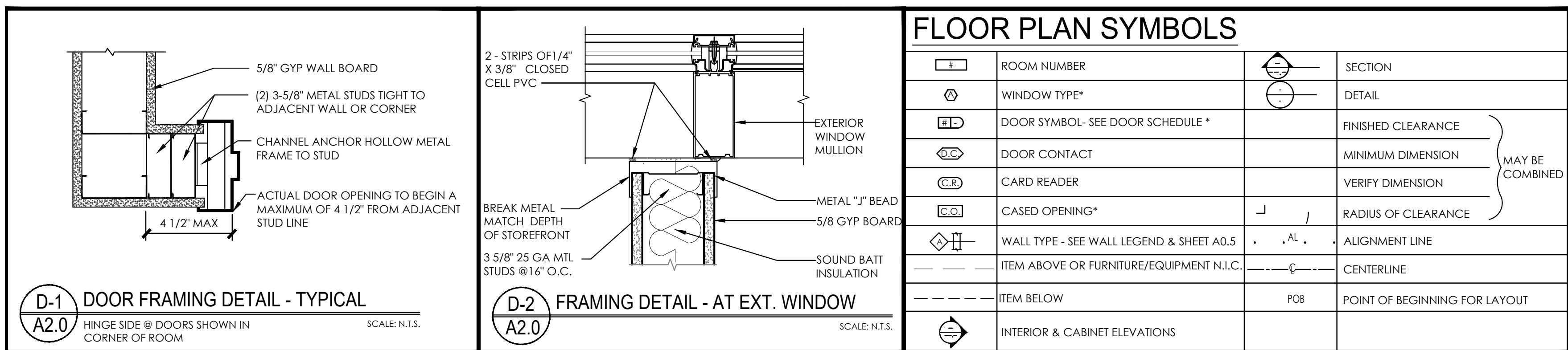
11A CABINETS AND CASE WORK: SEE ALL DRAWINGS FOR CABINET SIZES, FINISHES, HARDWARE AND MATERIALS SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

11C TELCOM CLOSE: PROVIDE AND MOUNT (1) SHEET OF 4' X 8' X 1/2" FIRE-RETARDANT TREATED BC PLYWOOD WITH TOP AT 6'-0" AFF. VERIFY PLACEMENT AND SIZE WITH CLIENT'S TELCOM DEPT.



1/A2.0 FLOOR PLAN -BUILDING 2

SCALE: 1/4" = 1'-0"

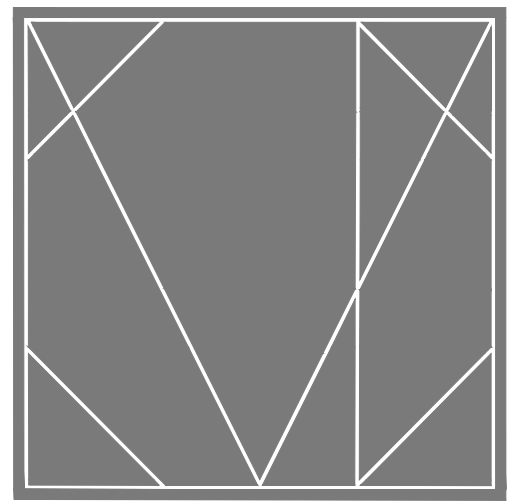


## FLOOR PLAN SYMBOLS

| ROOM NUMBER                              | SECTION                       |
|--|-------------------------------|
| WINDOW TYPE*                             | DETAIL                        |
| DOOR SYMBOL-SEE DOOR SCHEDULE *          | FINISHED CLEARANCE            |
| DOOR CONTACT                             | MINIMUM DIMENSION             |
| CARD READER                              | VERIFY DIMENSION              |
| CASED OPENING*                           | RADIUS OF CLEARANCE           |
| WALL TYPE - SEE WALL LEGEND & SHEET A0.5 | ALIGNMENT LINE                |
| ITEM ABOVE OR FURNITURE/EQUIPMENT N.I.C. | CENTERLINE                    |
| ITEM BELOW                               | POINT OF BEGINNING FOR LAYOUT |
| INTERIOR & CABINET ELEVATIONS            |                               |

SHEET NUMBER

A2.0



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FL LIC. NO. AR0016053  
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CONSEIL AND SEAL

PROJECT DESCRIPTION:  
HEATHROW CENTRE  
BUILDING - 02  
EMPTY SHELL BUILDING  
1165 BUSINESS CENTER DRIVE  
SUITE 1025 AND SUITE 1075  
LAKE MARY, FLORIDA. 32746

CONSTRUCTION

10.24.2025

REVISIONS

| NO. | DESCRIPTION | DATE |
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PROJECT TEAM  
PROJECT MANAGER  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME  
Providence One Partners

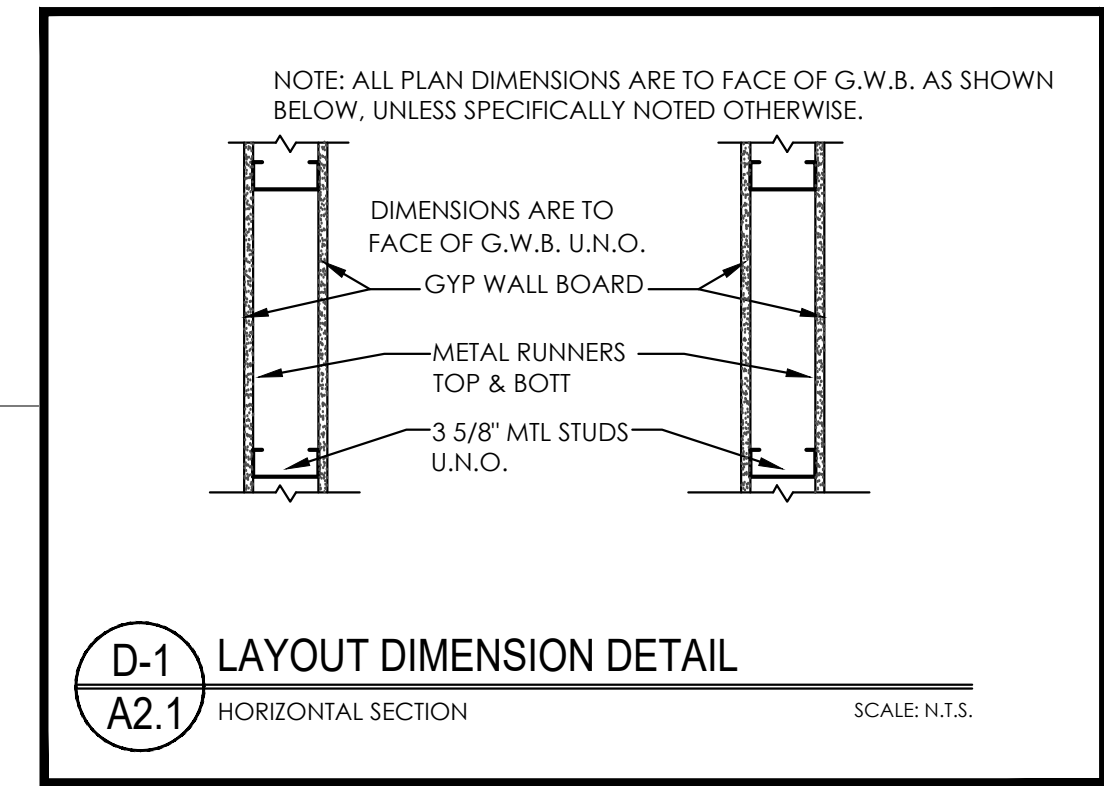
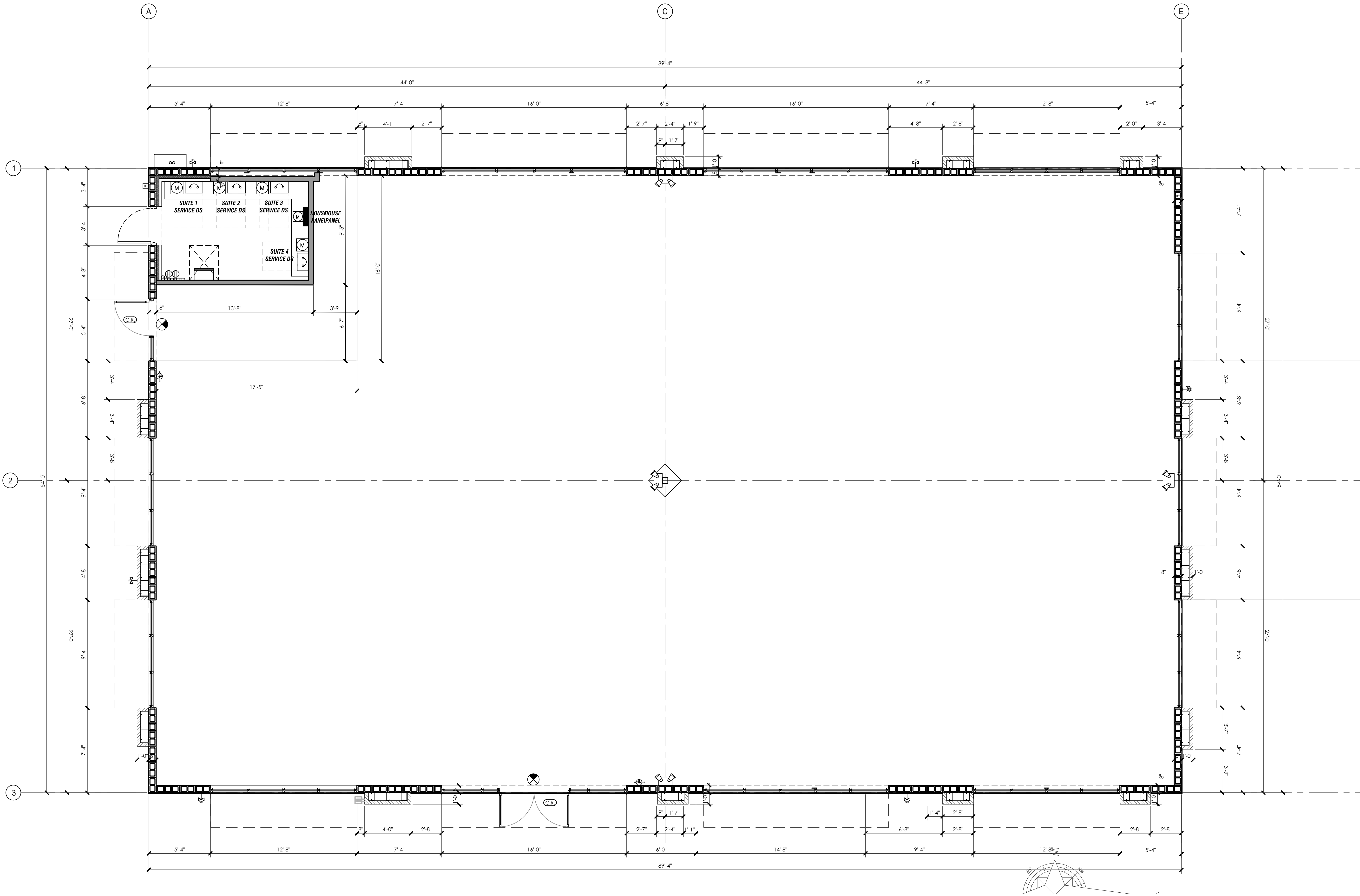
PROJECT NUMBER  
24-0919-01

PROJECT FILE

DIMENSION PLAN

SHEET NUMBER

A2.1



1/A2.1 DIMENSION PLAN -BUILDING 2

SCALE: 1/4" = 1'-0"




|                         |                                       |                  |
|-------------------------|---------------------------------------|------------------|
| Door Hardware Set No. 5 |                                       |                  |
| Each door to have:      |                                       |                  |
| 3                       | Each Hinges 8831 4.5 x 4.5 NRP        | 630 Cal-Royal    |
| 1                       | Each UL Panic A7700                   | 630 Cal-Royal    |
| 1                       | Each Trim ESC7705                     | 626 Cal-Royal    |
| 1                       | Each HO Closer IN90JBF x HO38PS / 900 | 689 Cal-Royal    |
| 1                       | Each Threshold FST-201                | 628 Cal-Royal    |
| 1                       | Set Seals PG-603                      | Rubber Cal-Royal |
| 1                       | Each Door Sweep BWR-501               | 628 Cal-Royal    |
| 1                       | Each Roll Drip CR4462                 | 628 Cal-Royal    |
| FPA: FL13624.3          |                                       |                  |

|                           |  |                |
|---------------------------|--|----------------|
| Door Hardware Set No. AL1 |  |                |
| Each pair to have:        |  |                |
| 1                         | Each Cont Hinge 6009X x EPT-2 Prep       | 628 AHT        |
| 1                         | Each Power Transfer EPT-2                | 628 Von Duprin |
| 1                         | Each Cont Hinge 6009X628                 | AHT            |
| 1                         | Each Electric CVR Panic 8000 MEL-1 NL    | 628 AHT        |
| 1                         | Each CVR Panic 8000                      | 628 AHT        |
| 2                         | Each Pull DPA4150 1-1/4" Dia. 60" Length | 630 Frascio    |
| 1                         | Each Mount Pad and Locking Ring 628      | AHT            |
| 1                         | Each Cylinder MORTCYL114                 | 626 Cal-Royal  |
| 2                         | Each Closer CR441 x CR18PA 689           | Cal-Royal      |
| 2                         | Each Floor Stops 3CT5-85                 | 626 Cal-Royal  |
| 1                         | Each Threshold 40290                     | 628 AHT        |
| 1                         | Set Seals Perimeter & Astragal           | BLK AHT        |
| 2                         | Each Door Sweep 25047                    | 628 AHT        |
| 1                         | Each Door Sweep 25047                    | 628 AHT        |
| 1                         | Each Power Supply NP-1                   | 600 AHT        |
| 1                         | Each Card Reader IPWR500                 | BLK SDC        |
| 1                         | Each Wire Diagram                        | xxx AHT        |
| FPA: FL17616.1            |  |                |

|                           |  |                |
|---------------------------|--|----------------|
| Door Hardware Set No. AL2 |  |                |
| Each door to have:        |  |                |
| 1                         | Each Cont Hinge 6009X x EPT-2 Prep       | 628 AHT        |
| 1                         | Each Power Transfer EPT-2                | 628 Von Duprin |
| 1                         | Each Electric CVR Panic 8000 MEL-1 NL    | 628 AHT        |
| 2                         | Each Pull DPA4150 1-1/4" Dia. 60" Length | 630 Frascio    |
| 1                         | Each Mount Pad and Locking Ring 628      | AHT            |
| 1                         | Each Cylinder MORTCYL114                 | 626 Cal-Royal  |
| 1                         | Each Closer CR441 x CR18PA 689           | Cal-Royal      |
| 1                         | Each Floor Stops 3CT5-85                 | 626 Cal-Royal  |
| 1                         | Each Threshold 25047                     | 628 AHT        |
| 1                         | Set Seals Perimeter & Astragal           | BLK AHT        |
| 1                         | Each Door Sweep 25047                    | 628 AHT        |
| 1                         | Each Power Supply NP-1                   | 600 AHT        |
| 1                         | Each Card Reader IPWR500                 | BLK SDC        |
| 1                         | Each Wire Diagram                        | xxx AHT        |
| FPA: FL17616.1            |  |                |

|                           |  |  |
|---------------------------|--|--|
| Door Hardware Set No. AL3 |  |  |
|---------------------------|--|--|



DOOR NUMBER  
TYPE

DOORS NUMBERED ON  
CONSTRUCTION PLAN

DOOR, FRAME, & HARDWARE SCHEDULE

ABBREVIATIONS:

HM

HOLLOW METAL

SC WD

SOLID CORE WOOD

HC WD

HOLLOW CORE WOOD

DW

DRYWALL WRAP

CL

CHANNEL

CS

GALVANIZED STEEL

BK

BACK KIT

R1

REUSE EXIST. R.H. DR

R2

REUSE EXIST. L.H. DR

STAIN

STAIN PER FINISH SCHEDULE

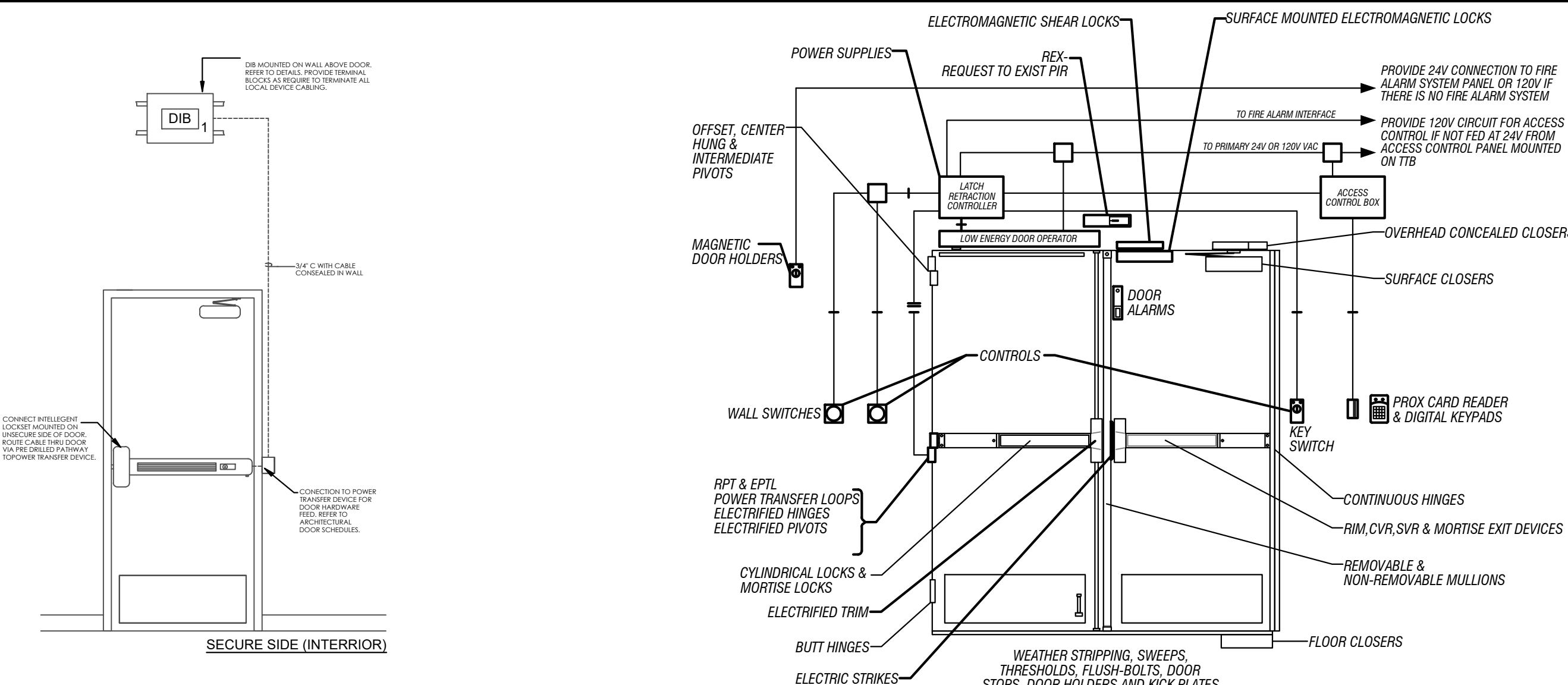
FINISHES

PAINTER FINISH SCHEDULE SEE I.D. DOCS

COORDINATE FINISHES WITH INT. DESIGNER'S DOCS

| DOOR TAG | ROOM NO. | NAME        | DOOR / OPENING    |      |     | FRAME |       |     | FIRE RTNG. | HDWR SET | LOCAT | ACCESS CNTRL | NOTES           |
|----------|----------|-------------|-------------------|------|-----|-------|-------|-----|------------|----------|-------|--------------|-----------------|
|          |          |             | SIZE              | TYPE | MAT | FIN   | MAT   | FIN |            |          |       |              |                 |
| 100 B    | 100      | RETAIL-01   | 3'-0" x 8'-0"     |      | B   | AL/GL | AL/GL | AL  | ALUM       | N/A      | AL2   | EXTERIOR     | NEW CARD READER |
| 101 A    | 101      | RETAIL-02   | PR. 3'-0" x 8'-0" |      | A   | AL/GL | AL/GL | AL  | ALUM       | N/A      | AL1   | EXTERIOR     | NEW CARD READER |
| 104 G    | 104      | ROOF ACCESS | 3'-0" x 8'-0"     |      | C   | HM    | PAINT | HM  | PAINT      | N/A      | S     | EXTERIOR     |                 |

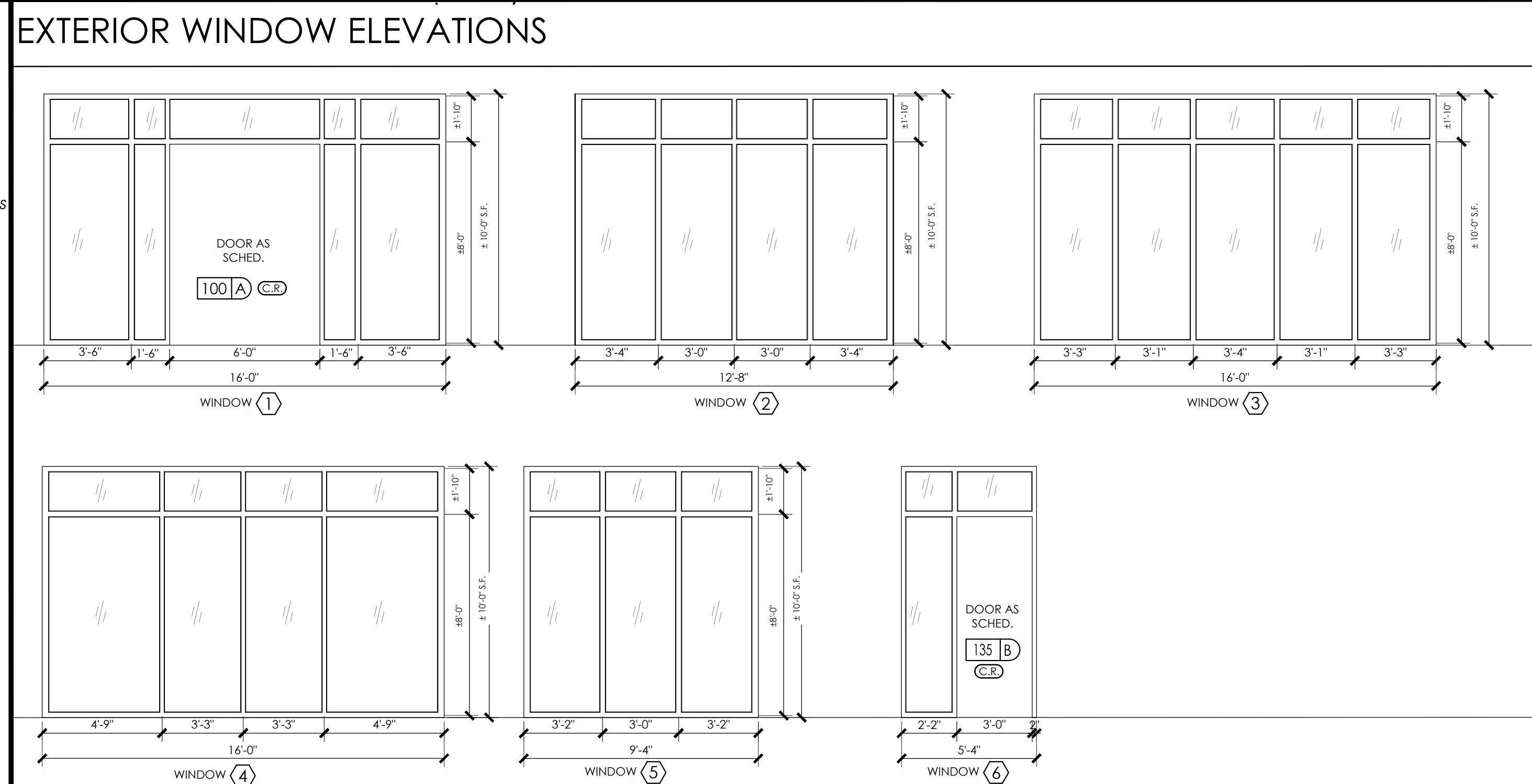
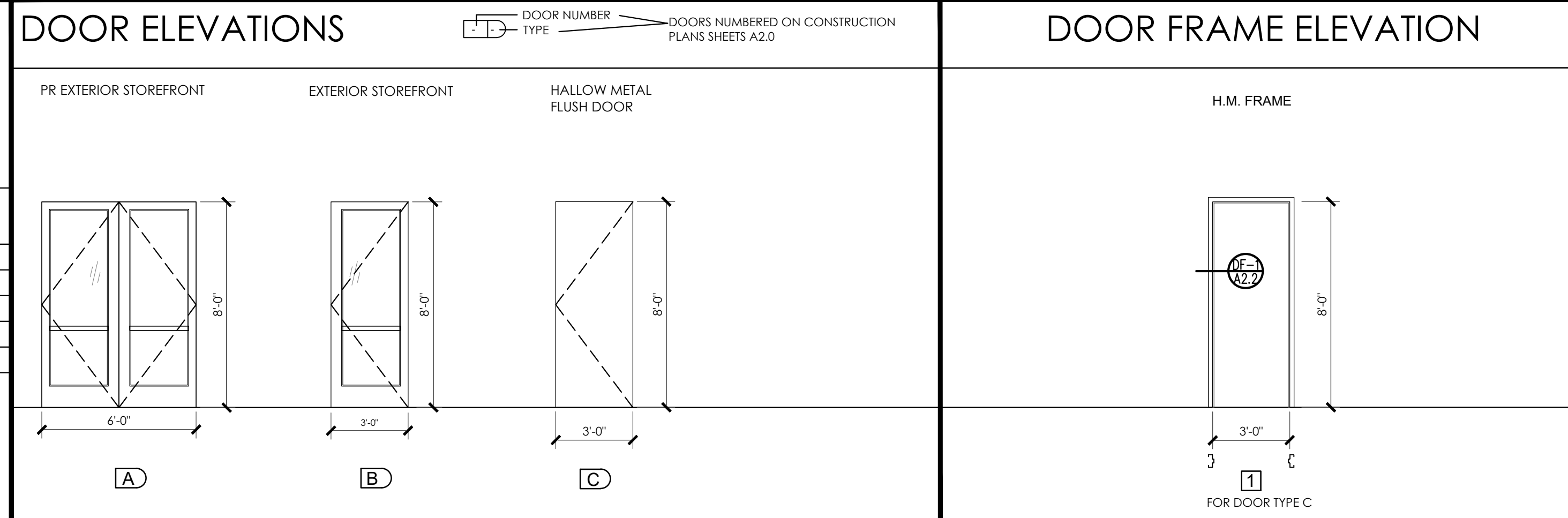
NOTE: EXIT DOORS TACTILE SIGNAGE SHALL BE PROVIDED AT EACH NEW EXIT DOOR IN ACCORDANCE WITH SECTION 7.10.1.3, NFPA 101, 2023 EDITION



D-1 TYPICAL EGRESS DOOR CONNECTION DETAIL

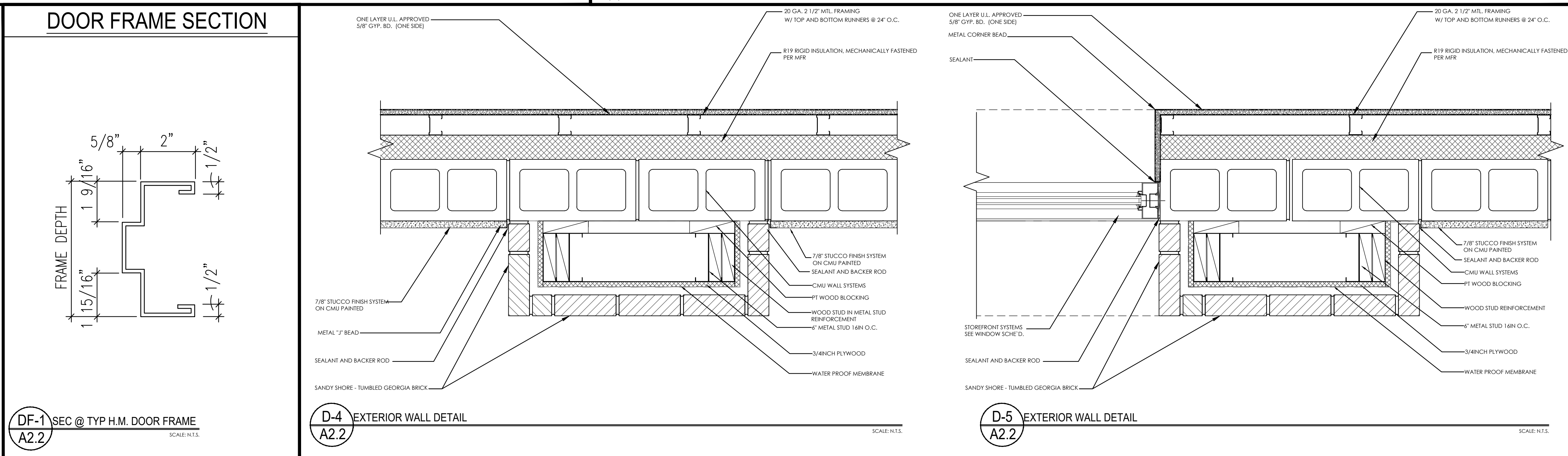
D-3 RECEPTION ENTRANCE DOOR DETAIL

**ACCESS CONTROL DETAIL NOTES:**  
ACCESS CONTROLLED EGRESS DOORS SHALL BE IN ACCORDANCE WITH NFPA 101, CHAPTER 7.2.1.6.2, (2012 EDITION), ACCESS CONTROLLED EGRESS DOORS COMPLYING WITH 7.2.1.6.2 SHALL BE PERMITTED (SECTION 38.2.2.6, NFPA 101, 2009 EDITION). ACCESS CONTROL DEVICES SHALL BE UL 294 LISTED AND INSTALLATION SHALL INCLUDE:  
1. SENSOR SHALL BE PROVIDED ON EGRESS SIDE OF DOOR TO DETECT AN OCCUPANT APPROACHING THE DOORS.  
2. DOORS SHALL UNLOCK AUTOMATICALLY UPON LOSS OF POWER TO THE SENSOR.  
3. PROVIDE "PUSH TO EXIT" MANUAL UNLOCKING DEVICE LOCATED 40" TO 48" VERTICALLY ABOVE THE FLOOR AND WITHIN 9'-0" OF THE SECURE DOORS WITH WIRING AS REQUIRED.  
7. THE EGRESS SIDE OF THE DOORS SHALL BE PROVIDED WITH EMERGENCY LIGHTING.  
8. ACTIVATION OF THE BUILDING FIRE PROTECTIVE SIGNALING SYSTEM SHALL AUTOMATICALLY UNLOCK THE DOORS, AND DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.  
9. ACTIVATION OF MANUAL FIRE ALARM REQUIREMENTS SHALL AUTOMATICALLY UNLOCK THE DOORS, AND DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.  
10. ACTIVATION OF THE BUILDING AUTOMATIC SPRINKLERS OR FIRE DETECTION SYSTEM SHALL AUTOMATICALLY UNLOCK THE DOORS, AND DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.  
11. COORDINATE SPECIFICATION AND REQUIREMENTS FOR ACCESS CONTROL WITH ARCHITECT'S CONSTRUCTION DOCUMENTS AND OWNER/TEAM CONTRACTED ACCESS CONTROL CONTRACTOR.  
NOTE: DETAIL SHOWS MULTIPLE POSSIBLE ACCESS CONTROL CONFIGURATIONS AND POSSIBLE ROUGH-IN. VERIFY ACTUAL JOB SPECIFIC REQUIREMENTS FOR THIS PROJECT PRIOR TO ROUGH-IN.



| TAG # | TYPE               | GLAZING                                 | FL PRODUCT APPROVAL # | REQUIREMENTS   | FINISH               | NOTE:   |
|-------|--------------------|---|-----------------------|--|----------------------|---|
| 1     | KAWNEER STOREFRONT | VIRACON GRAY 1" VE2-2M INSULATING LOW-E | FPA# 7237.2           | DUAL PANE U<= 0.25, SHGC <= 0.31, LIGHTING < 1.0 WATTS PER SF. | KYNAR PAINTED FINISH | NOTE: EXTERIOR WINDOWS SHALL MEET CURRENT WIND ZONE REQUIREMENTS AND BE INSTALLED PER HFR RECOMMENDATIONS. PAINTED FINISH TO MATCH ARCHITECT'S APPROVED SAMPLE. |
| 2     | KAWNEER STOREFRONT | VIRACON GRAY 1" VE2-2M INSULATING LOW-E | FPA# 7237.2           | DUAL PANE U<= 0.25, SHGC <= 0.31, LIGHTING < 1.0 WATTS PER SF. | KYNAR PAINTED FINISH |   |
| 3     | KAWNEER STOREFRONT | VIRACON GRAY 1" VE2-2M INSULATING LOW-E | FPA# 7237.2           | DUAL PANE U<= 0.25, SHGC <= 0.31, LIGHTING < 1.0 WATTS PER SF. | KYNAR PAINTED FINISH |   |
| 4     | KAWNEER STOREFRONT | VIRACON GRAY 1" VE2-2M INSULATING LOW-E | FPA# 7237.2           | DUAL PANE U<= 0.25, SHGC <= 0.31, LIGHTING < 1.0 WATTS PER SF. | KYNAR PAINTED FINISH |   |
| 5     | KAWNEER STOREFRONT | VIRACON GRAY 1" VE2-2M INSULATING LOW-E | FPA# 7237.2           | DUAL PANE U<= 0.25, SHGC <= 0.31, LIGHTING < 1.0 WATTS PER SF. | KYNAR PAINTED FINISH |   |
| 6     | KAWNEER STOREFRONT | VIRACON GRAY 1" VE2-2M INSULATING LOW-E | FPA# 7237.2           | DUAL PANE U<= 0.25, SHGC <= 0.31, LIGHTING < 1.0 WATTS PER SF. | KYNAR PAINTED FINISH |   |

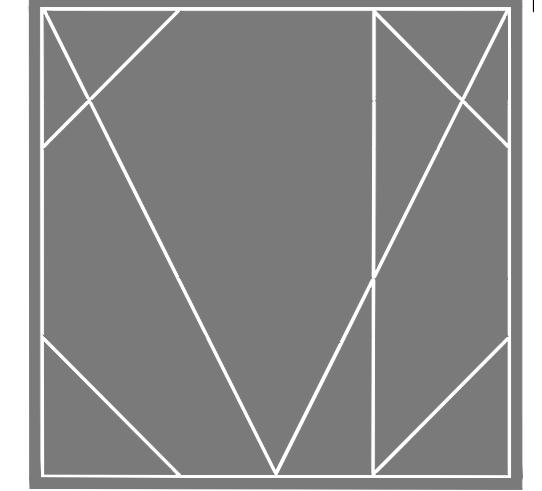
NOTE: (1) GLASS IN STOREFRONT WALL SYSTEMS AND GLASS LITES KITS SHALL BE TEMPERED IN COMPLIANCE WITH CODE FBC 2406.4, 2023



DF-1 SEC @ TYP H.M. DOOR FRAME

D-4 EXTERIOR WALL DETAIL

D-5 EXTERIOR WALL DETAIL



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SCALE

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CONSULT FIRM SEAL

PROJECT DESCRIPTION:  
HEATHROW CENTRE  
BUILDING - 02  
EMPTY SHELL BUILDING  
1165 BUSINESS CENTER DRIVE  
SUITE 1025 AND SUITE 1075  
LAKE MARY, FLORIDA. 32746

CONSTRUCTION

10.24.2025

| NO. | DESCRIPTION | DATE |
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PROJECT TEAM  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

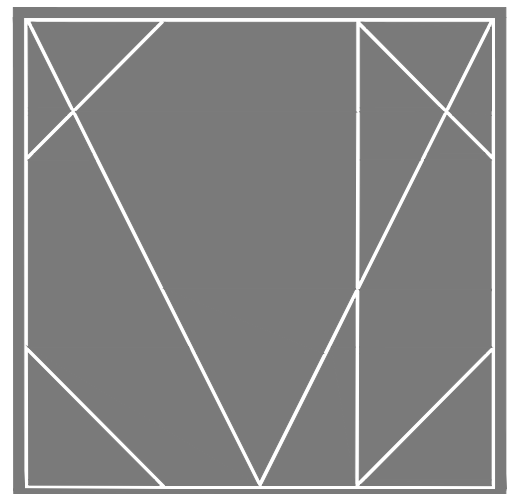
CLIENT NAME  
Providence One Partners

PROJECT NUMBER  
24-0919-01

DETAILS AND SCHEULES

SHEET NUMBER  
A2.2





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CONSIDER AND SEAL

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1165 BUSINESS CENTER DRIVE  
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LAKE MARY, FLORIDA. 32746

DATE: 03/2025

CONSTRUCTION

10.24.2025

| REVISIONS |             |      |
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| NO.       | DESCRIPTION | DATE |
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PROJECT TEAM  
PRINCIPAL ARCHITECT  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME  
Providence One Partners

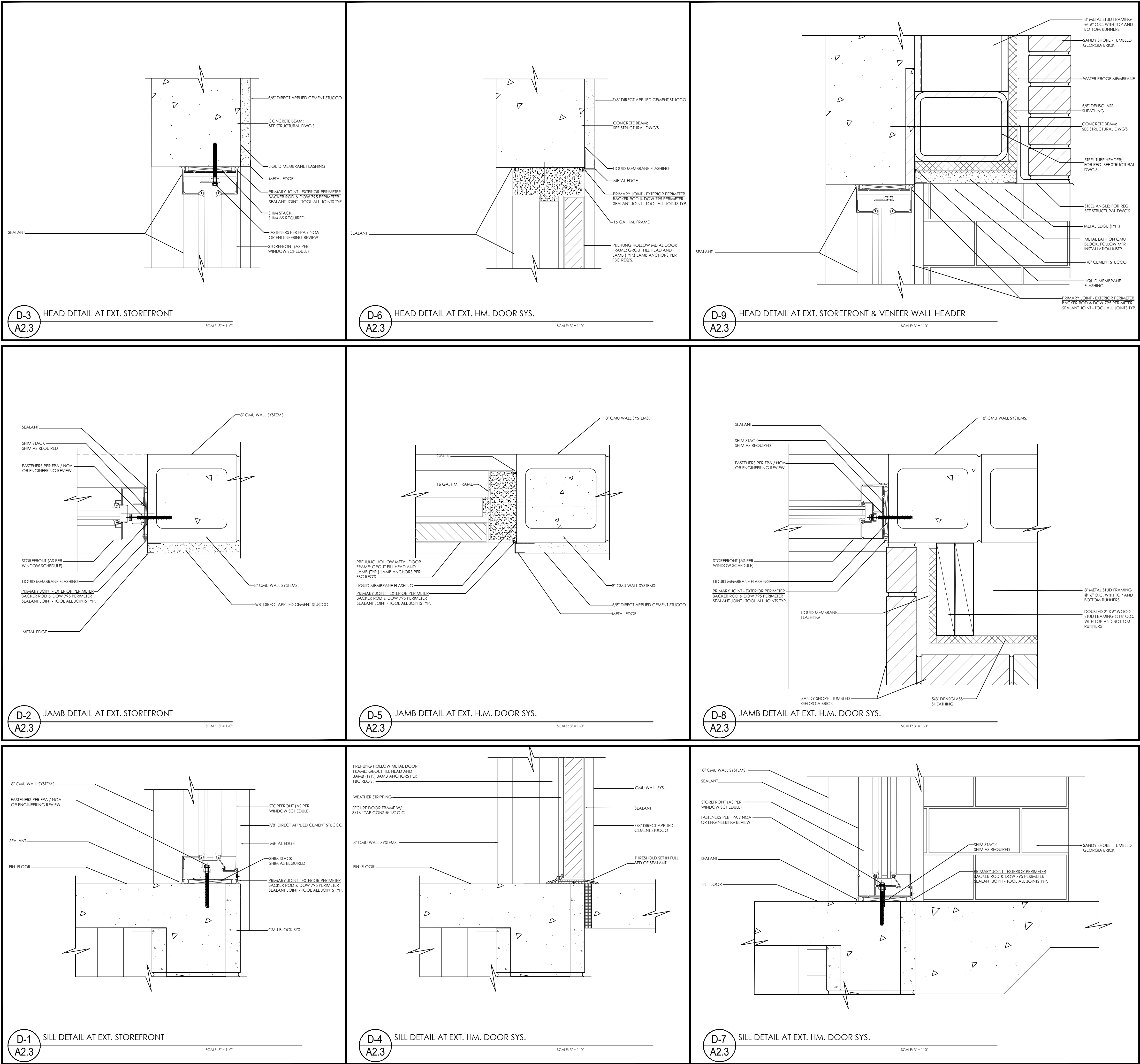
PROJECT NUMBER  
24-0919-01

PROJECT FILE

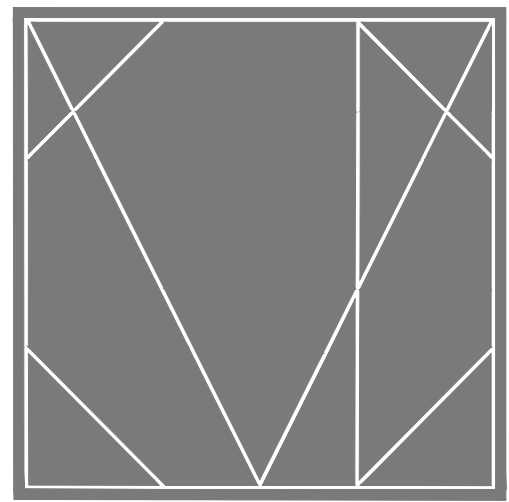
DOOR & WINDOW DETAILS

SHEET NUMBER

A2.3







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ARCHITECTURE INTERIOR DESIGN  
www.CVDstudio.com  
CAMPBELL + VAN DUSEN Design Studio, LLC.  
255 South Orange Avenue Suite #1240  
Orlando, Florida 32801  
Phone: 407.930.6016  
FL Lic. No. AA26003339

ARCHITECT OF RECORD  
FRANK W. CAMPBELL AIA  
FL LIC. NO. AR0016053  
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CONSOLIDATED SEALS

PROJECT DESCRIPTION:  
HEATHROW CENTRE  
BUILDING - 02  
EMPTY SHELL BUILDING  
1165 BUSINESS CENTER DRIVE  
LAKE MARY, FLORIDA, 32746

CONSTRUCTION

10.24.2025

| REVISIONS |             |      |
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| NO.       | DESCRIPTION | DATE |
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PROJECT TEAM  
PROJECT ARCHITECT  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

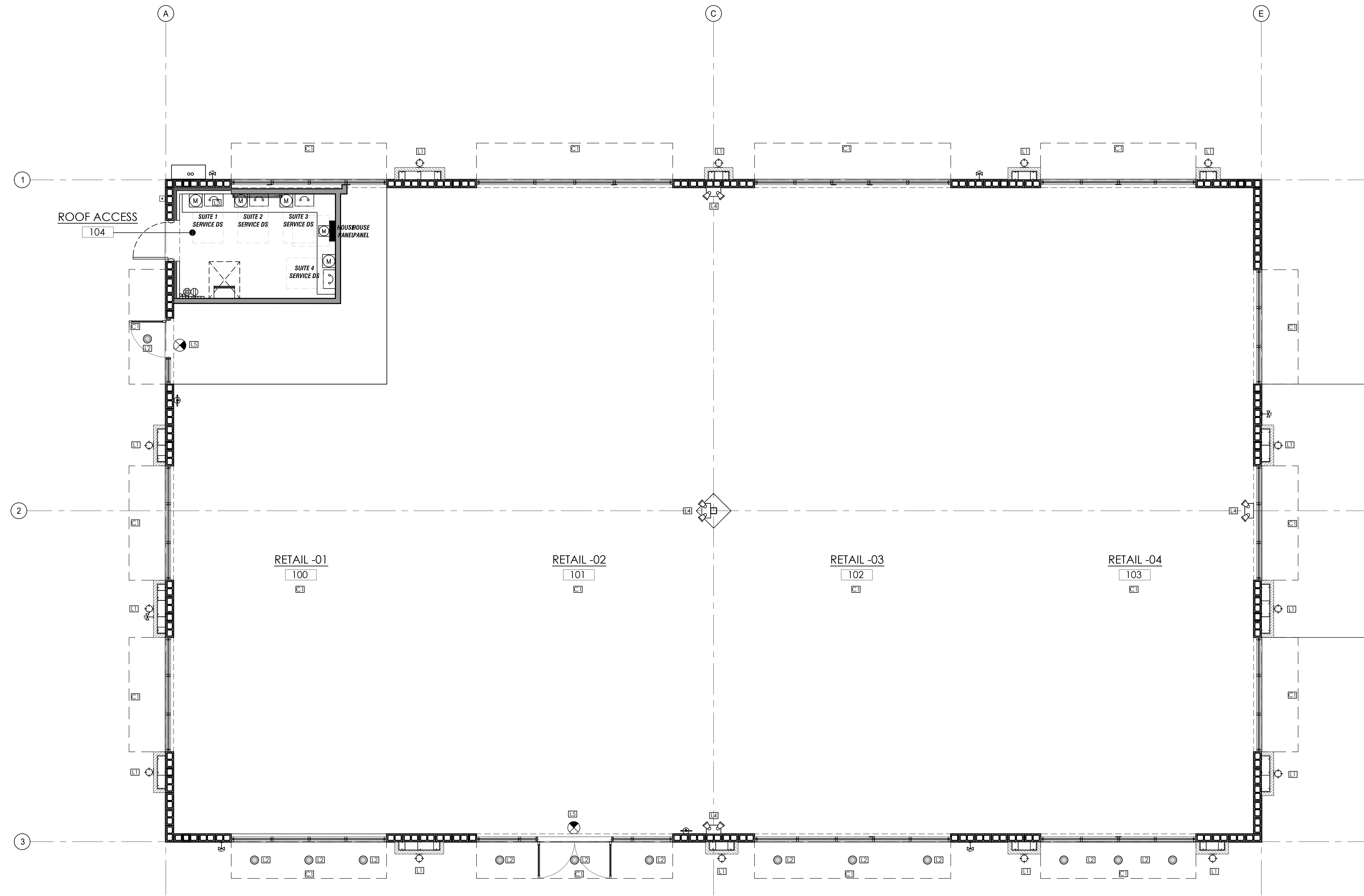
CLIENT NAME  
Providence One Partners

PROJECT NUMBER  
24-0919-01

PROJECT FILE

REFLECTED CEILING PLAN

SHEET NUMBER  
A3.0



| CEILING & LIGHTING LEGEND |        |   |
|---------------------------|--------|---|
|                           | SYMBOL | DESCRIPTION   |
|                           | XX     | KEY NOTE SYMBOL   |
| L1                        |        | EXTERIOR WALL SCONCE. SEE ELECTRICAL SHEETS FOR SPECIFICATION.            |
| L2                        |        | EXTERIOR WEATHER RATED DOWNLIGHT  |
| L3                        |        | SLG TS INDUSTRIAL STRIP LUMINAIRE   |
| L4                        |        | EMERGENCY LIGHTING FIXTURES WITH BATTERY BACK UP. SEE ELECTRICAL DRAWINGS |
| L5                        |        | EMERGENCY LIGHTING FIXTURES   |

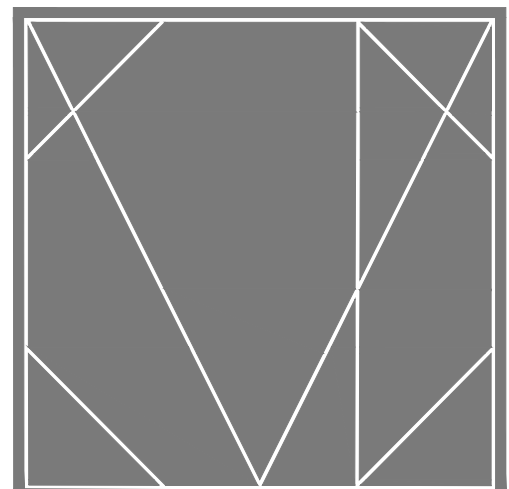
| REFLECTED CEILING PLAN |  |
|------------------------|--|
| C1                     | OPEN TO ABOVE STRUCTURE. INTERIOR SPACE SHALL BE BUILT OUT BY FUTURE TENANT. UNDER SEPARATE PERMIT |
| C2                     | EXTERIOR SCONCE LIGHT. SEE ELECTRICAL DWG'S.   |
| C3                     | EXTERIOR CAN LIGHT. SEE ELECTRICAL DWG'S.  |
| C4                     | STEEL COLUMN. SEE STRUCTURAL DWG'S.  |
| C5                     | PREMANUFACTURED METAL CANOPY.  |
| C6                     | TOP OF EXTERIOR WINDOWS= 10'-0" A.F.F.   |



1/A3.0 REFLECTED CEILING PLAN -BUILDING 2

SCALE: 1/4" = 1'-0"

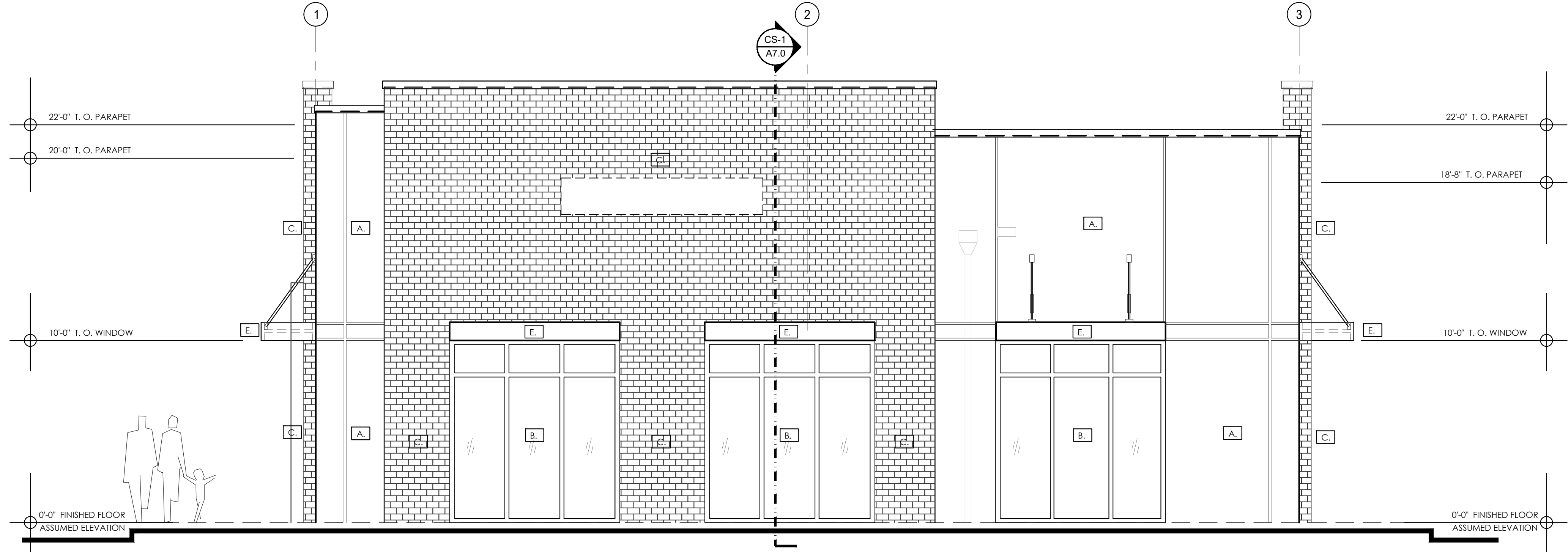




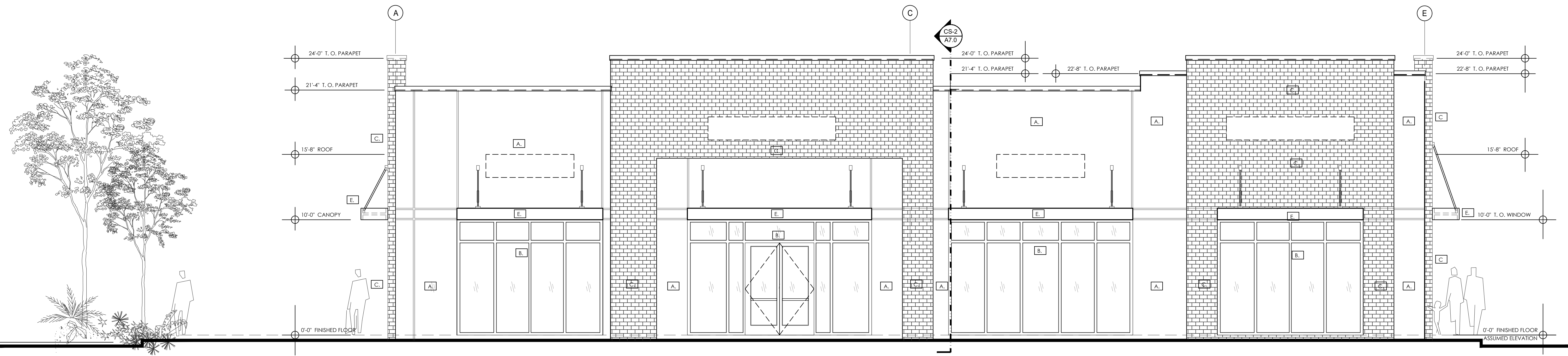
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- PROPOSED ELEVATION KEY NOTES
- NOTE SYMBOL (KEYED TO ELEVATION)
- A. STUCCO FINISH  
PRIMER: LK03V0100 - LOXON CONDITIONER  
FINISH: SW 9598
- B. STORE FRONT METAL  
PRIMER: B50WZ0001 - KEN KROMIK - UNIVERSAL METAL PRIMER  
FINISH: B66W006S1 - PRO INDUSTRIAL HIGH PERFORMANCE ACRYLIC  
- SEMI GLOSS
- C. STONE  
WHITE PEARL - GEORGIA ARCHITECTURAL  
LINEAR SERIES BRICK
- D. HOLLOW METAL DOORS AND FRAMES  
SPOT PRIME: B50WZ0001 - KEN KROMIK - UNIVERSAL METAL PRIMER  
FINISH: B66W006S1 - PRO INDUSTRIAL HIGH PERFORMANCE ACRYLIC  
- SEMI GLOSS
- E. AWNING  
IRON ORE SWPAINT
- F. EXTERIOR CAULKING  
SEALANT: LK07150010 - LOXON S1 ONE COMPONENT SMOOTH  
POLYURETHANE SEALANT.
- IMPORTANT NOTE: PROVIDE WATER DIVERTER BOXES WITH INTEGRAL OVERFLOW.



1/A6.0. NORTH ELEVATION - BUILDING 2 SCALE: 1/4" = 1'-0"



2/A6.1 EAST ELEVATION - BUILDING 2 SCALE: 1/4" = 1'-0"

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PROJECT TEAM  
PROJECT MANAGER  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME  
Providence One Partners

PROJECT NUMBER  
24-0919-01

PROJECT FILE

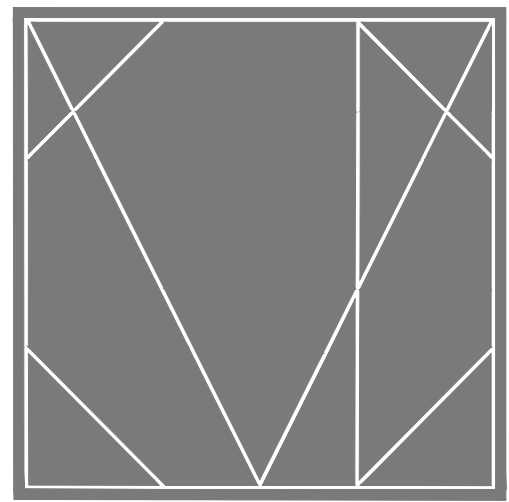
EXTERIOR ELEVATIONS

PROJECT NAME  
A6.0









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PROJECT TEAM

PROJECT ARCHITECT  
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PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME

Providence One Partners

PROJECT NUMBER

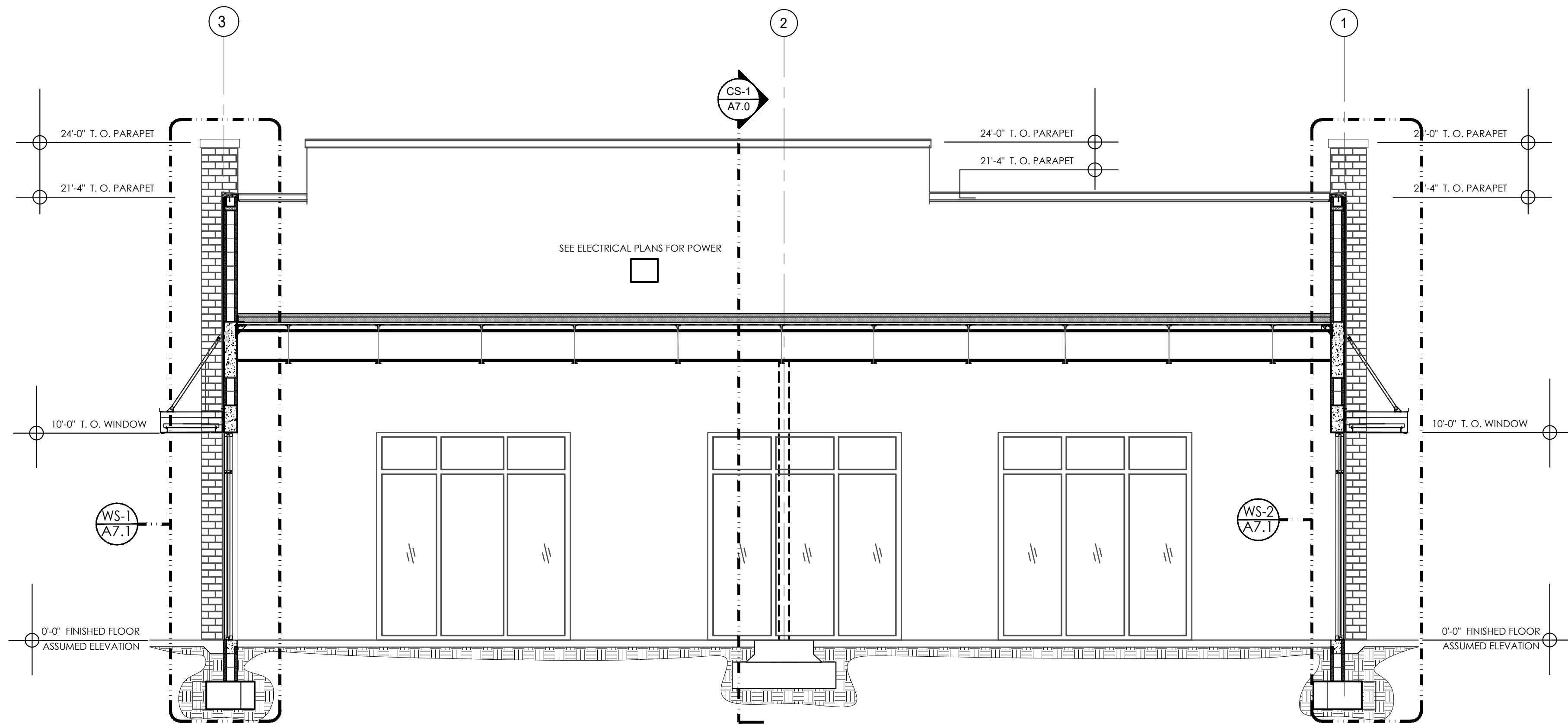
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SHEET FILE

CROSS SECTIONS

SHEET NUMBER

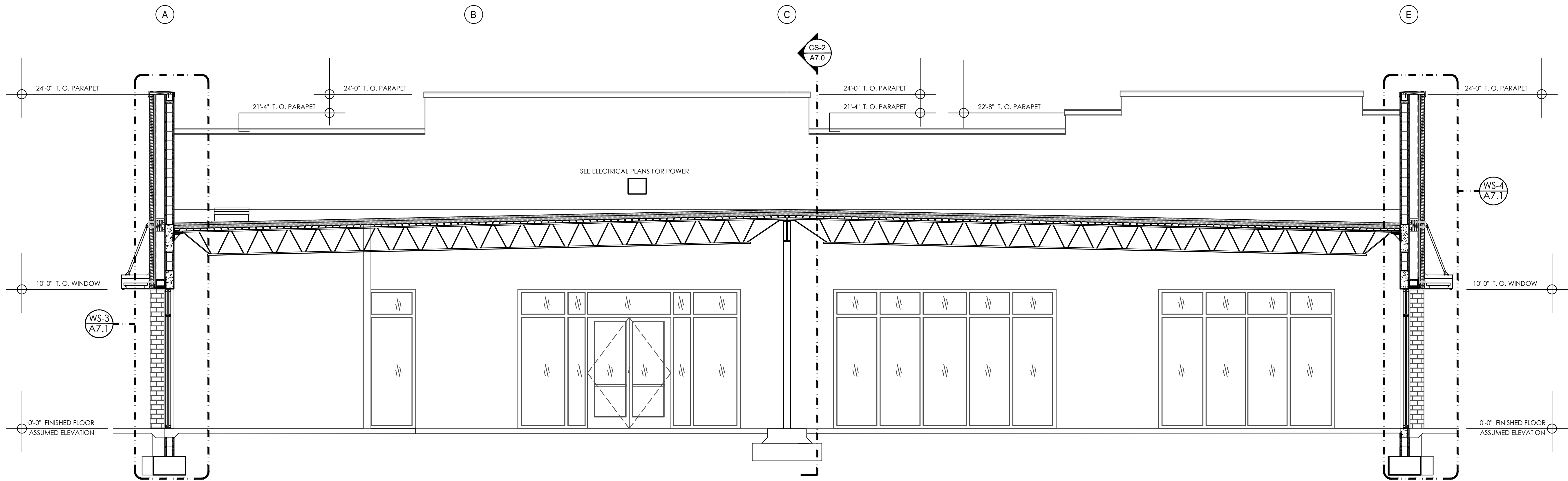
A7.0



CS-1  
A7.0

BUILDING SECTION - BUILDING 2

SCALE: 1/4" = 1'-0"

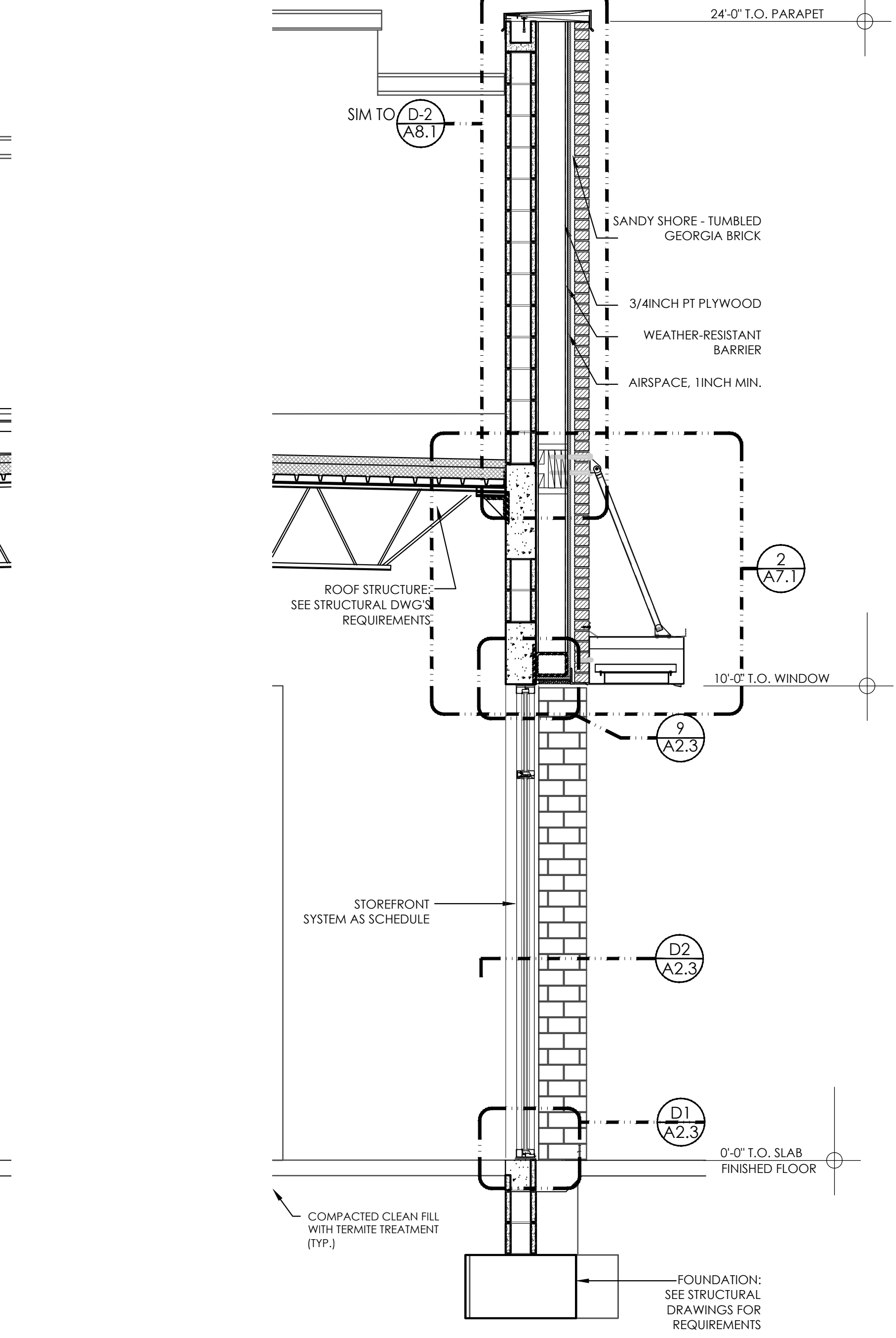
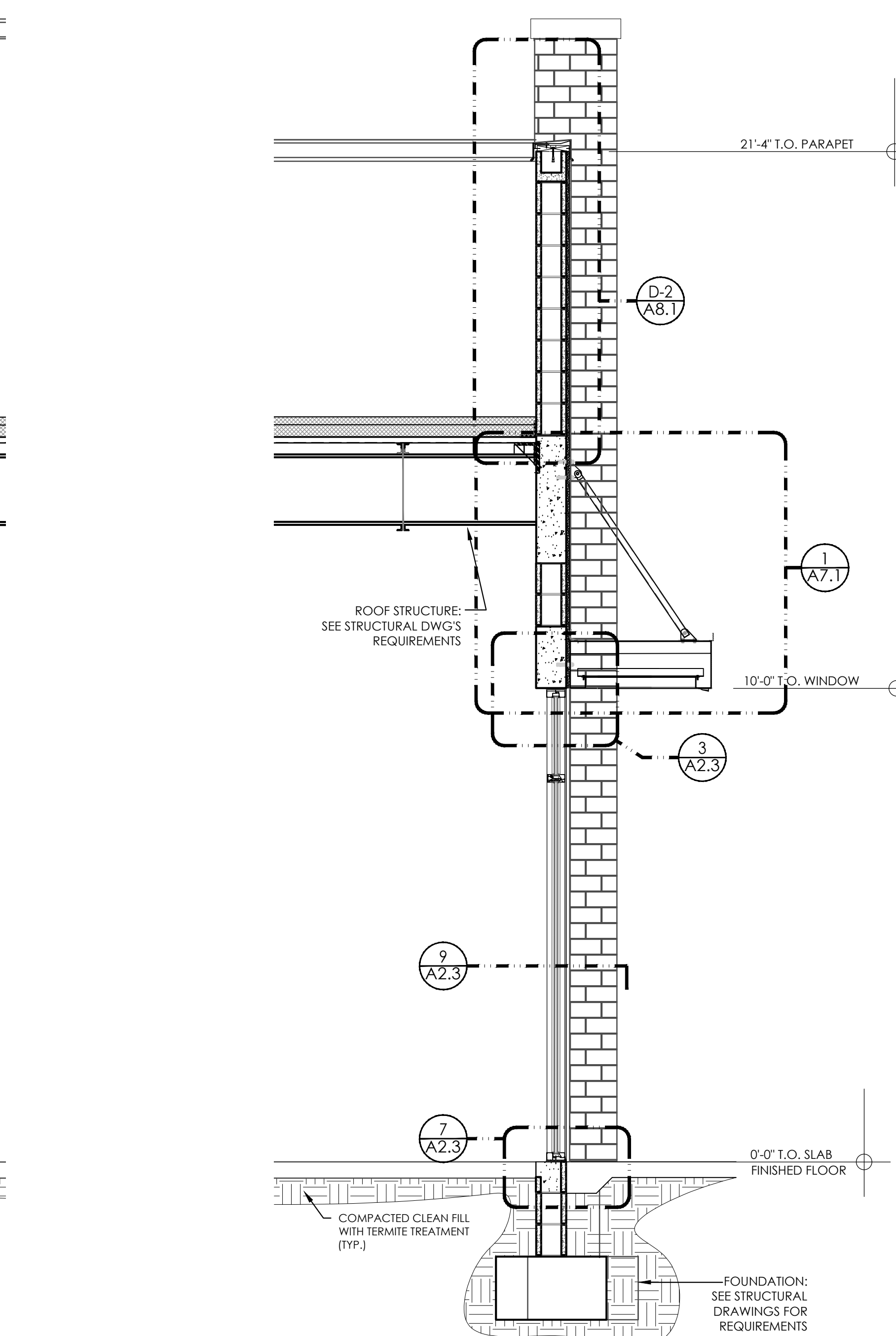
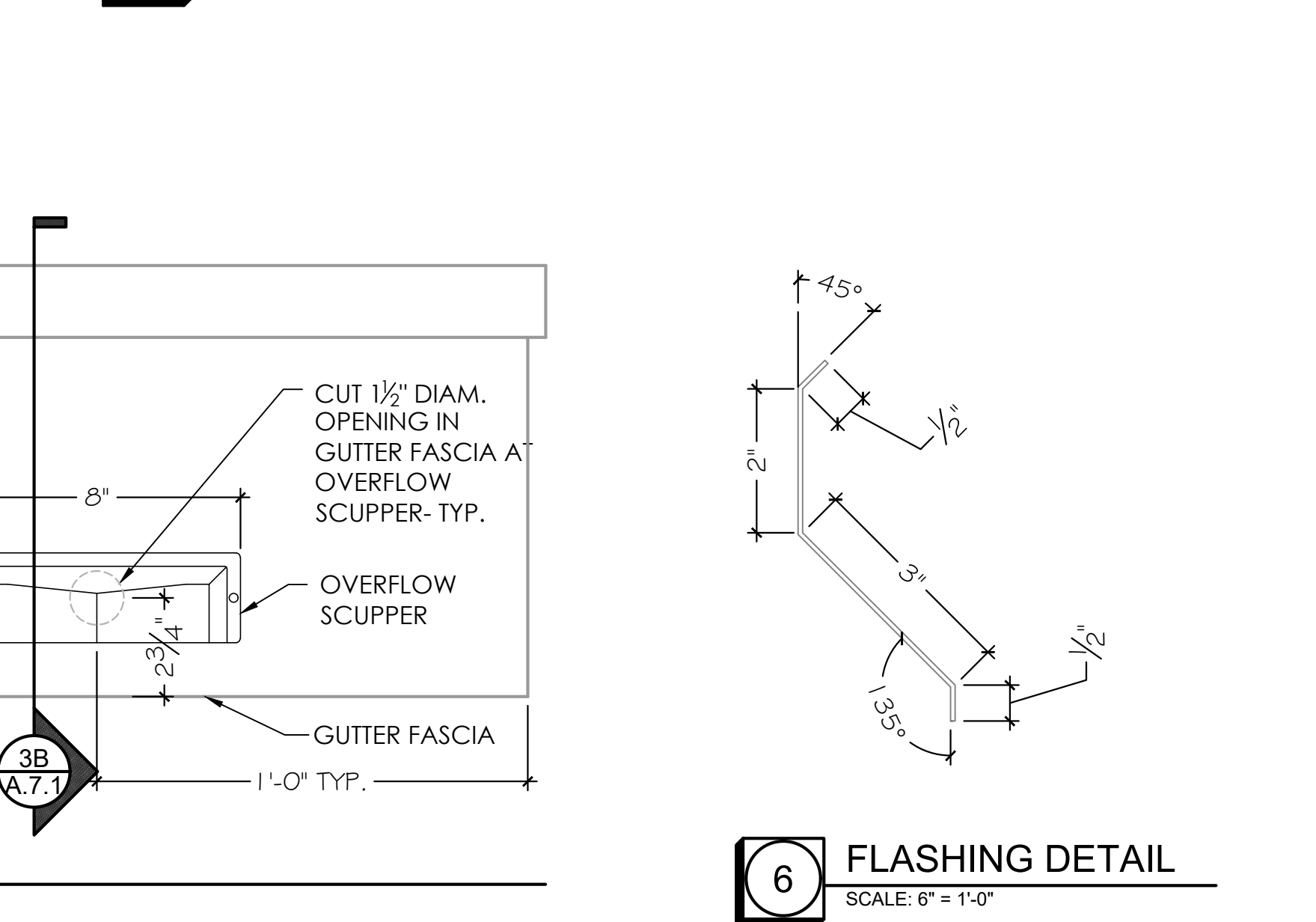
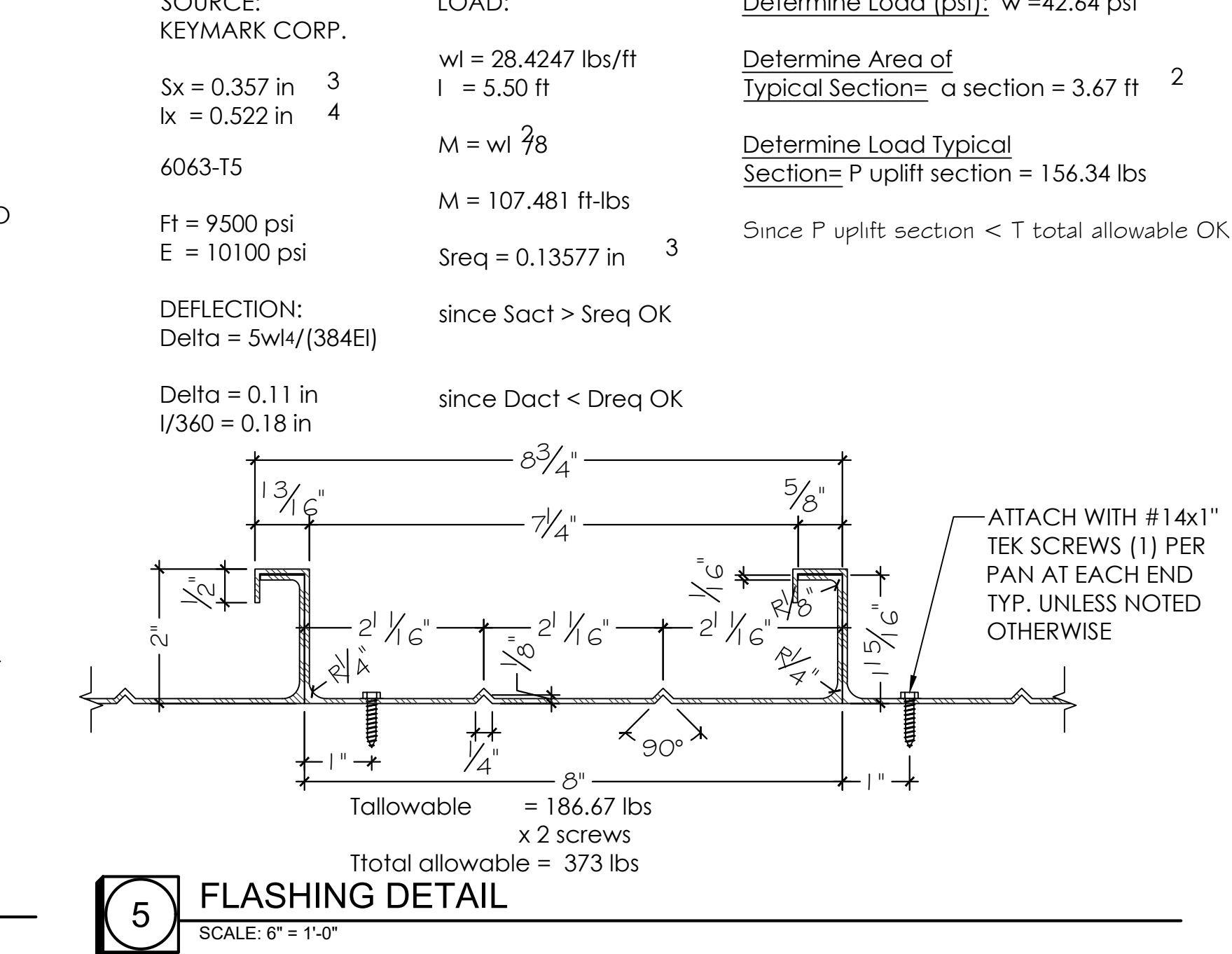
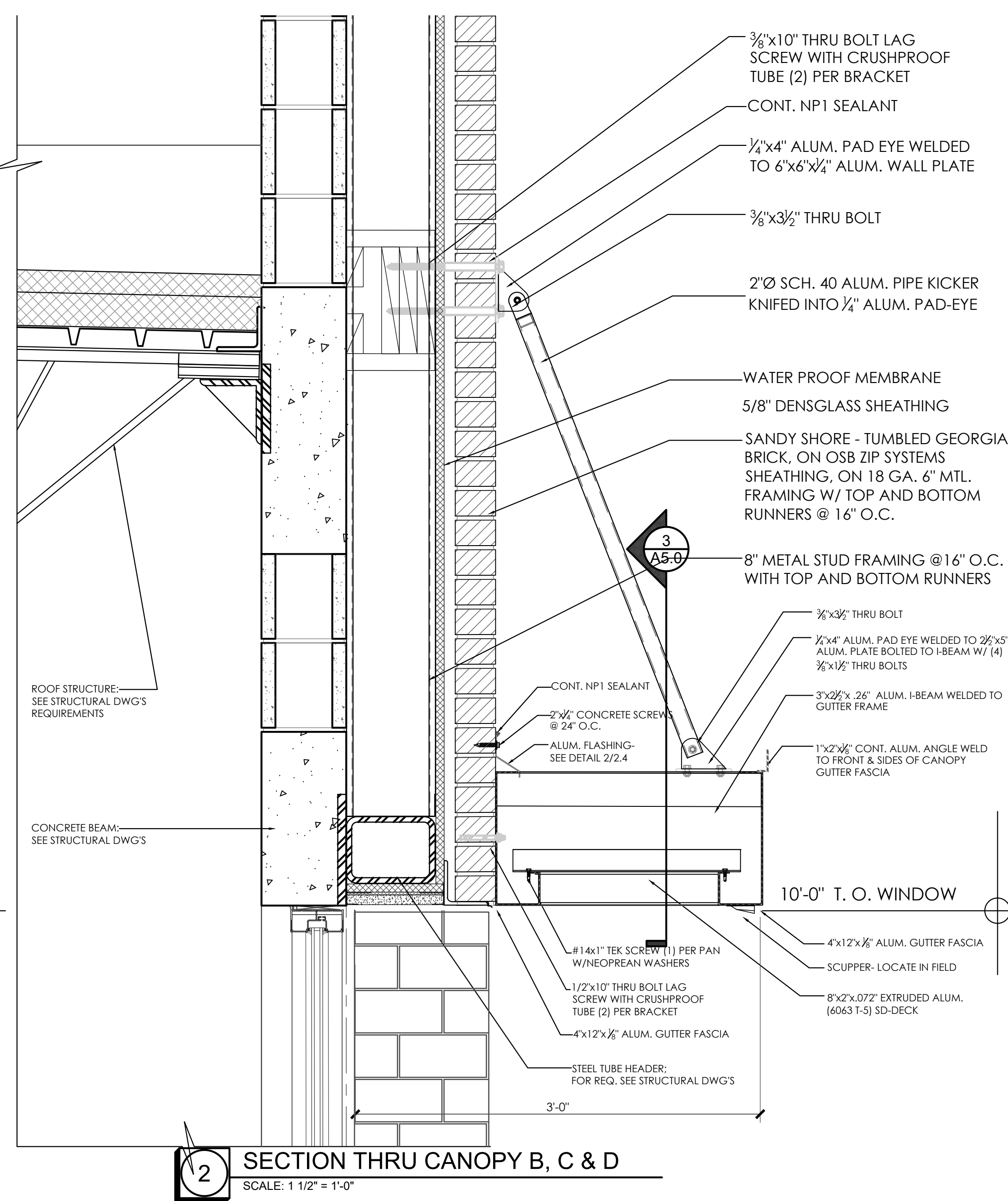


CS-2  
A7.0

BUILDING SECTION - BUILDING 2

SCALE: 1/4" = 1'-0"





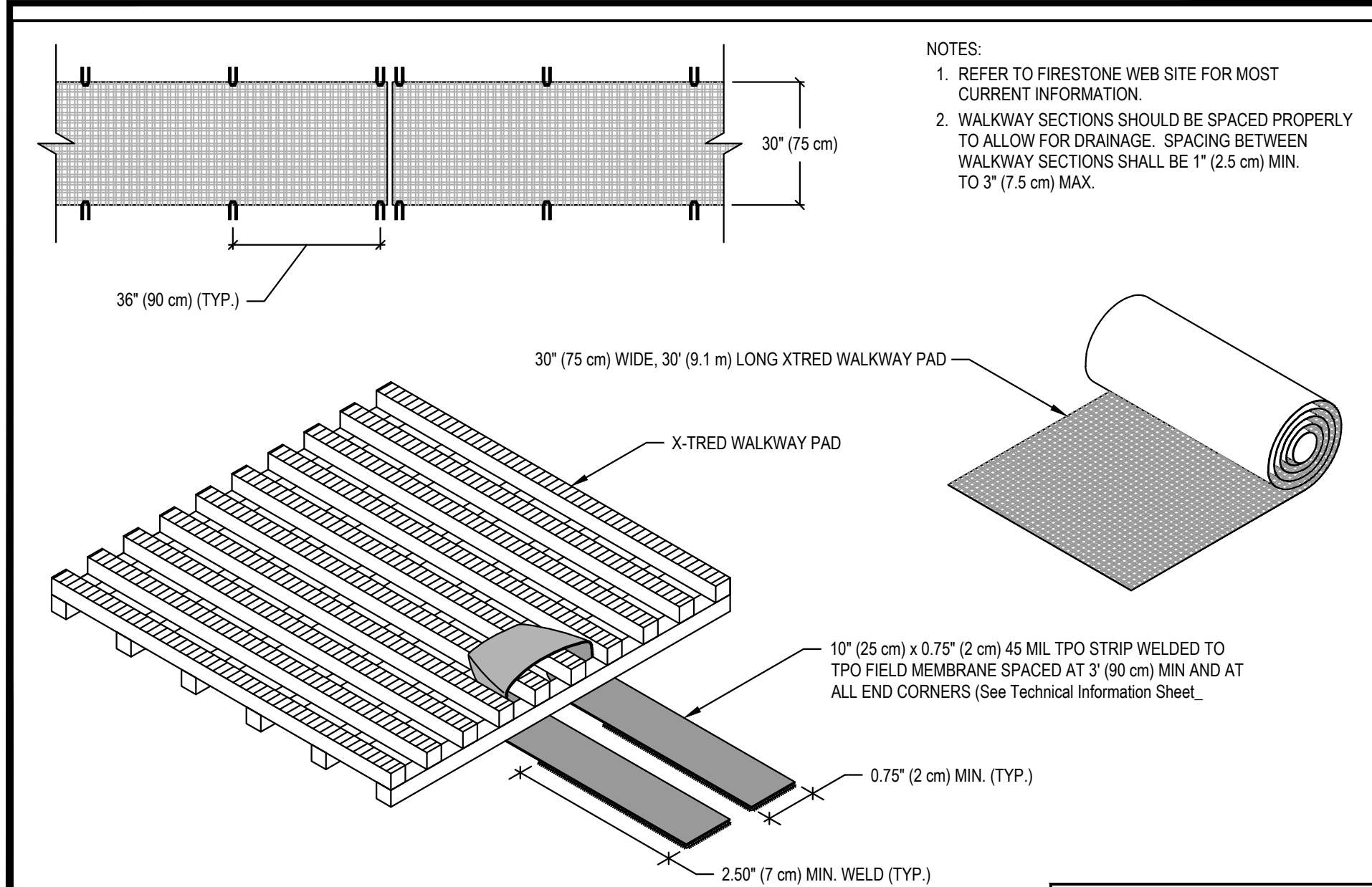
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CONSULTANT SEAL

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| PROJECT NUMBER | 24-0919-01    |
| SHEET TITLE    | WALL SECTIONS |
| SHEET NUMBER   | A7.1          |

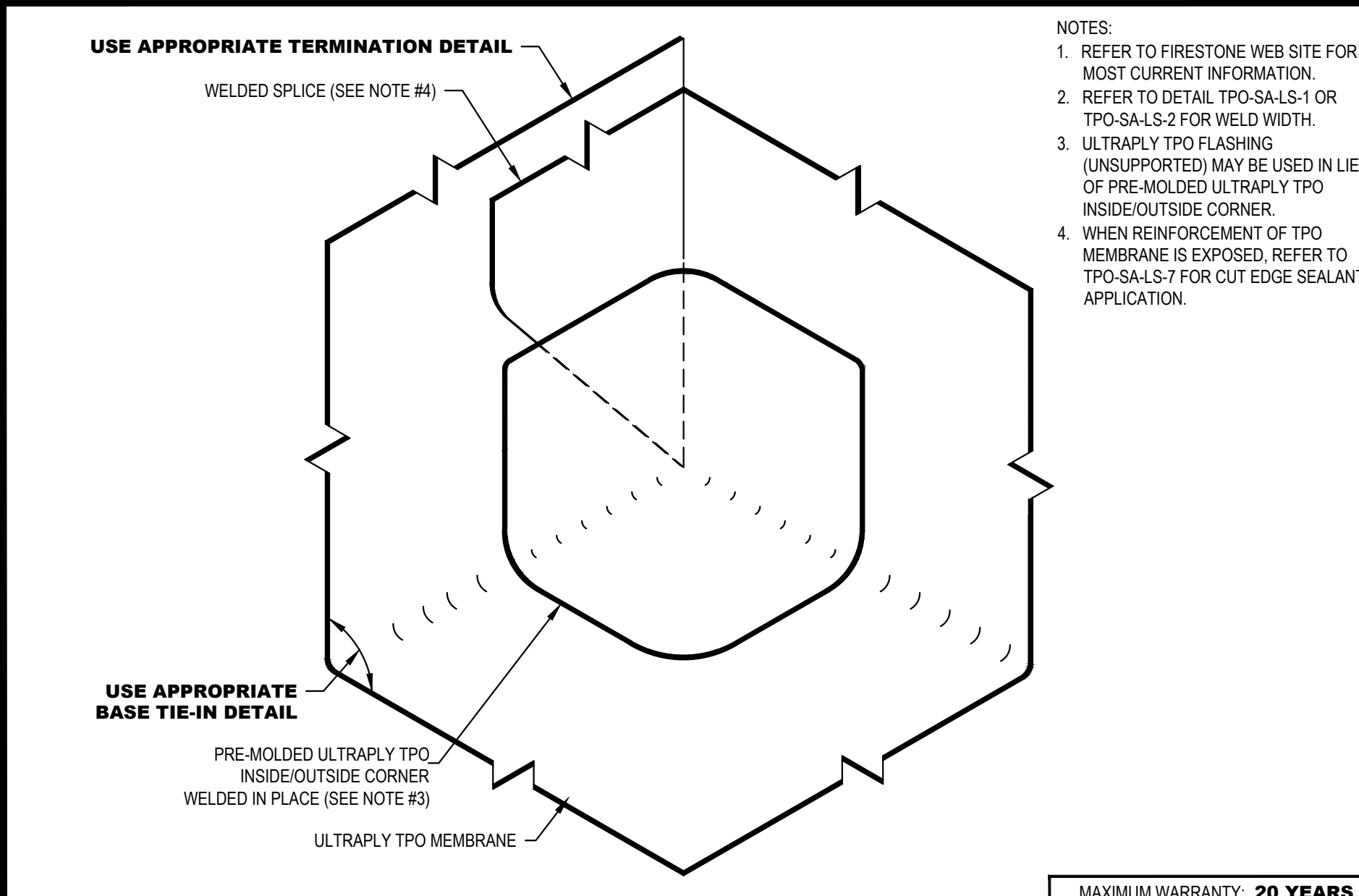




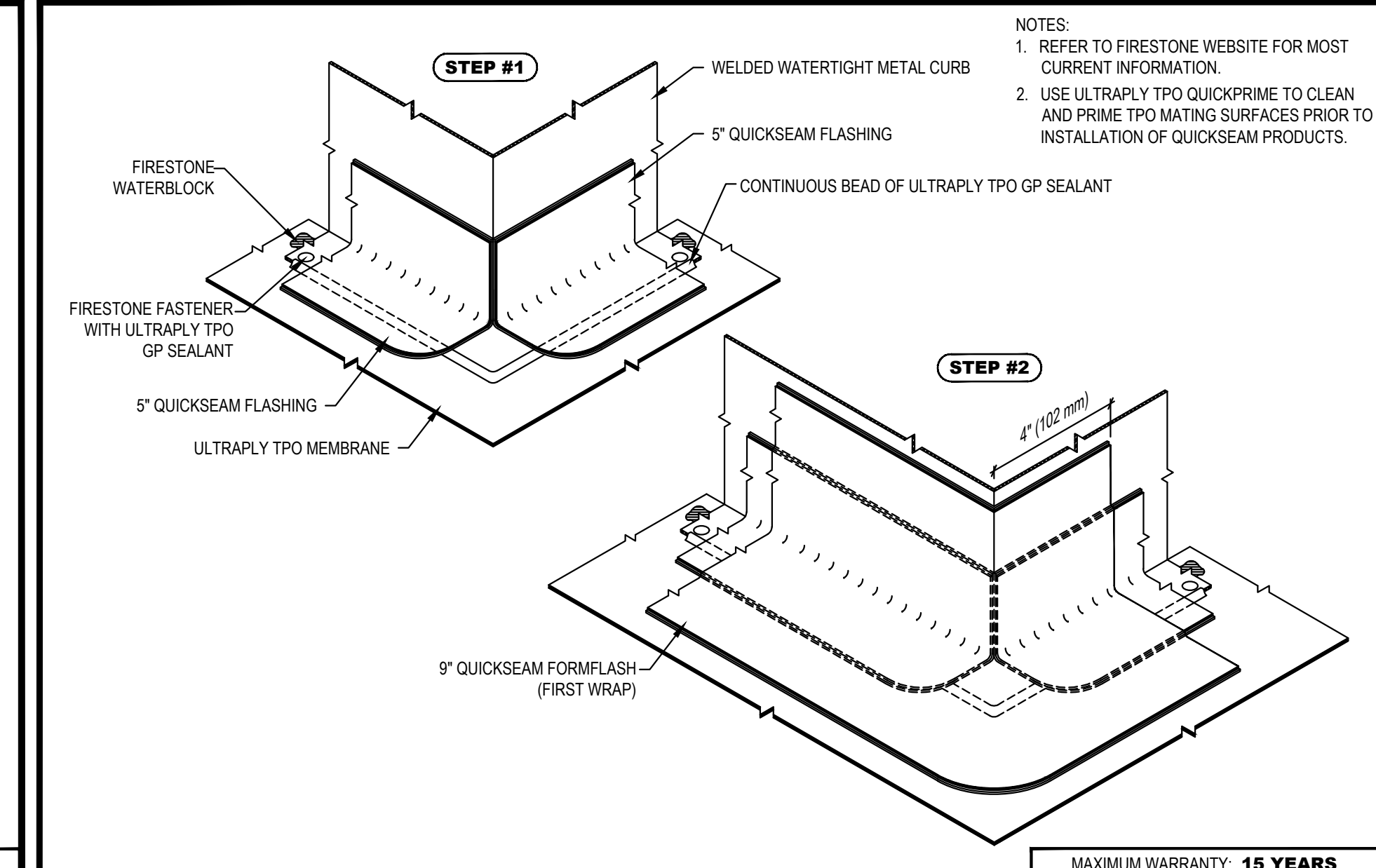




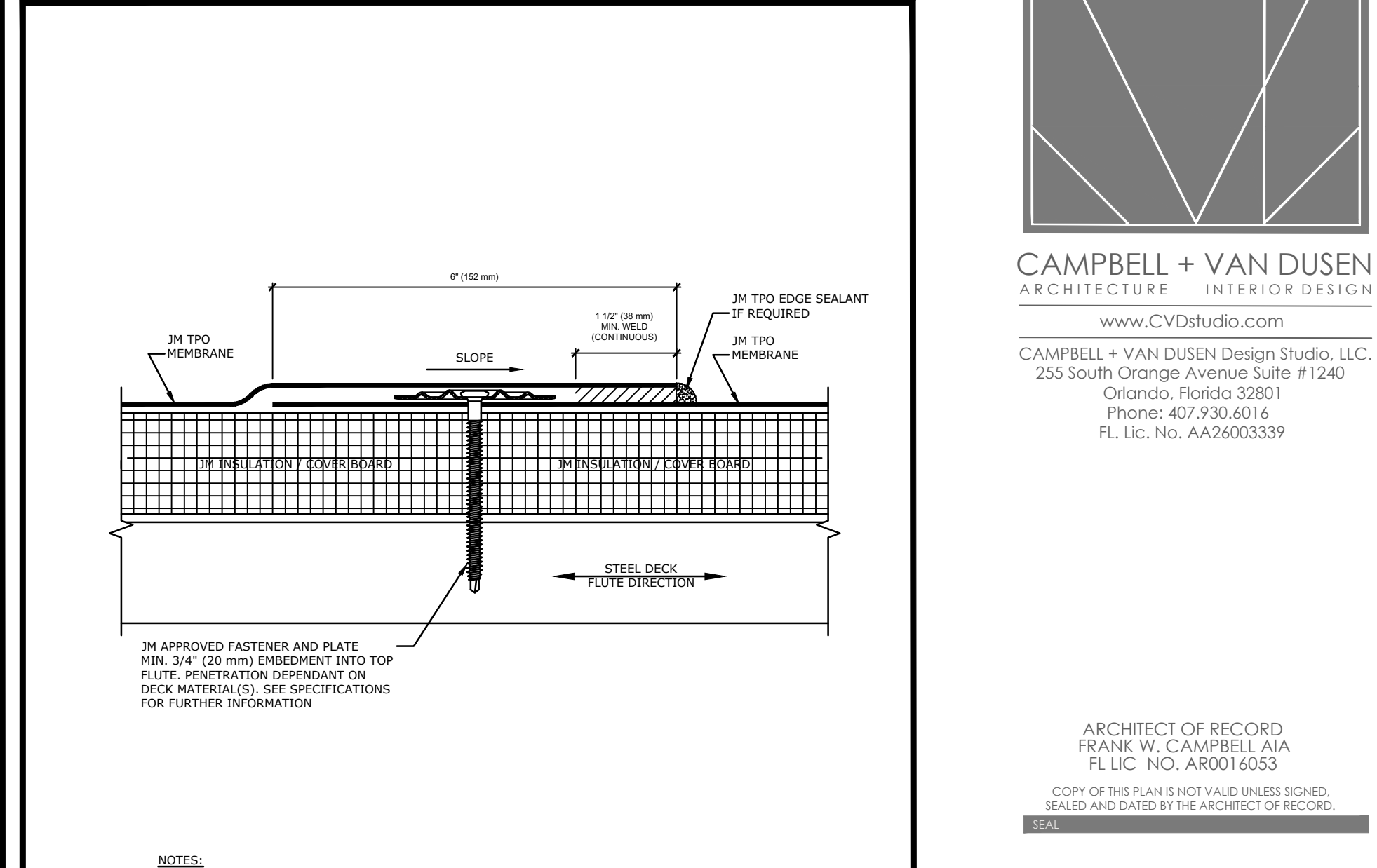
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| <b>Firestone</b><br>BUILDING PRODUCTS<br>NOBODY COVERS YOU BETTER. <sup>™</sup><br><a href="http://www.firestonegpc.com">www.firestonegpc.com</a> | <b>X-TRED WALKWAY PAD</b> |                                     | MAXIMUM WARRANTY: <b>30 YEARS</b><br>ISSUE / REVISION DATE: <b>3/26/2015</b><br>NOT TO SCALE | DETAIL NO.<br><b>UT-M-7</b> |
|   | ULTRAPLY <sup>™</sup> TPO | ACCEPTABLE SYSTEMS: ALL TPO SYSTEMS |  |                             |



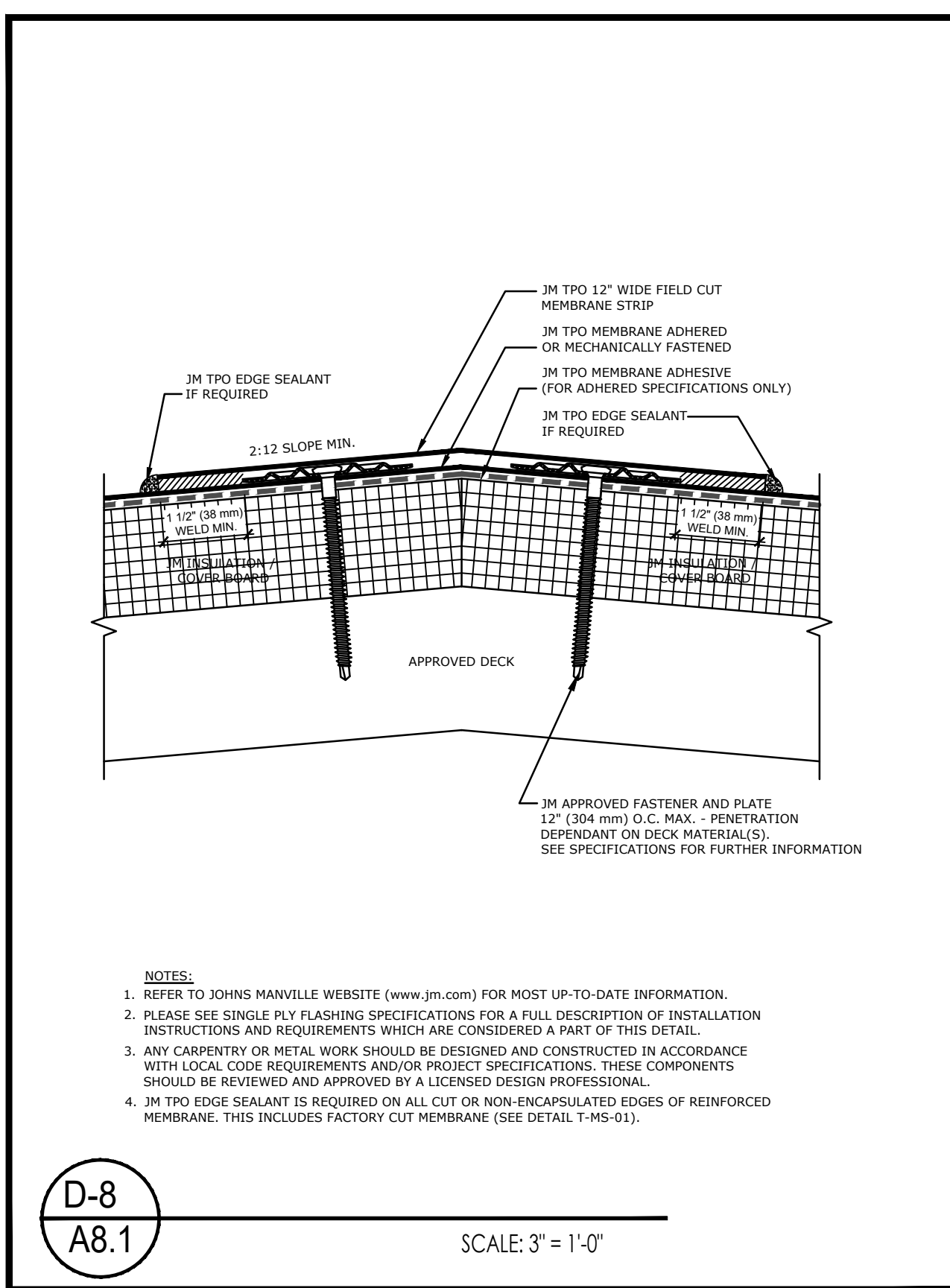
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| <b>Firestone</b><br>BUILDING PRODUCTS<br>NOBODY COVERS YOU BETTER. <sup>™</sup><br><a href="http://www.firestonegpc.com">www.firestonegpc.com</a> | <b>INSIDE CORNER</b>      |                                     | MAXIMUM WARRANTY: <b>20 YEARS</b><br>ISSUE / REVISION DATE: <b>07/01/2015</b><br>NOT TO SCALE | DETAIL NO.<br><b>UT-C-5A</b> |
|   | ULTRAPLY <sup>™</sup> TPO | ACCEPTABLE SYSTEMS: ALL TPO SYSTEMS |   |                              |



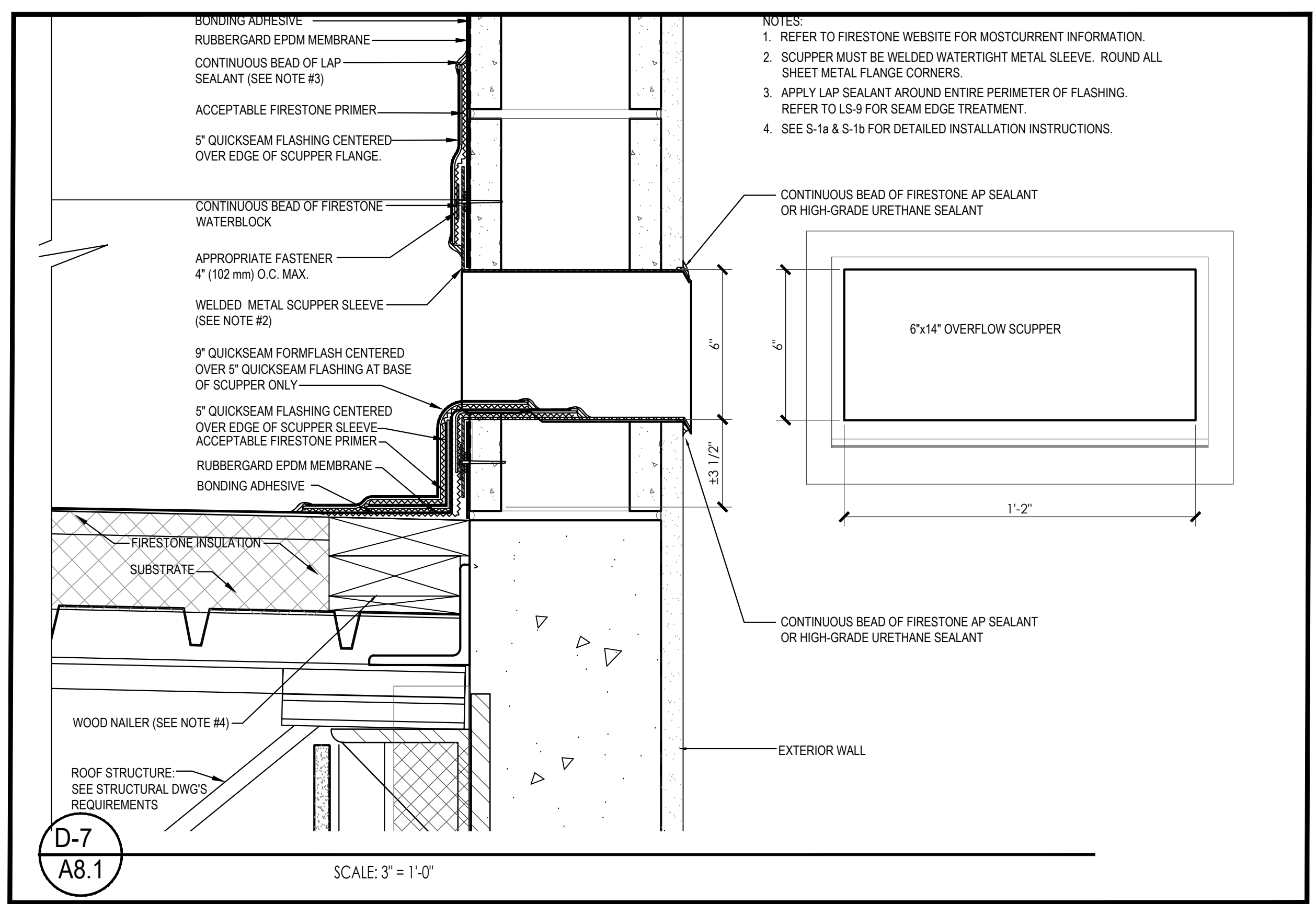
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| <b>Firestone</b><br>BUILDING PRODUCTS<br>NOBODY COVERS YOU BETTER. <sup>™</sup><br><a href="http://www.firestonegpc.com">www.firestonegpc.com</a> | <b>OUTSIDE CORNER AT WELDED WATERTIGHT CURB (FLANGES UNDER 2") INSTALLATION STEPS 1 &amp; 2</b> |                         | MAXIMUM WARRANTY: <b>15 YEARS</b><br>ISSUE / REVISION DATE: <b>7/01/2014</b><br>NOT TO SCALE | DETAIL NO.<br><b>UT-C-2a</b> |
|   | ULTRAPLY <sup>™</sup> TPO   | ACCEPTABLE SYSTEMS: ALL |  |                              |



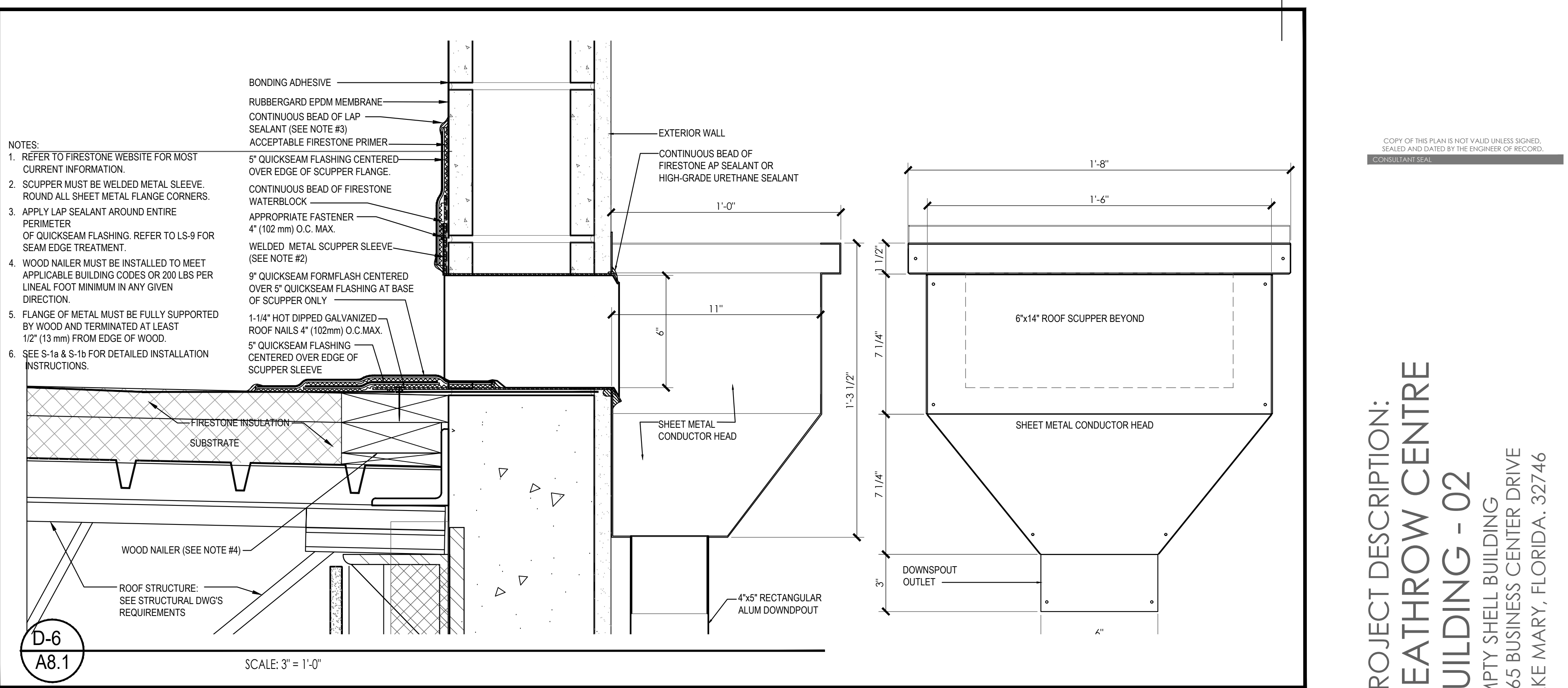
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| <b>Firestone</b><br>BUILDING PRODUCTS<br>NOBODY COVERS YOU BETTER. <sup>™</sup><br><a href="http://www.firestonegpc.com">www.firestonegpc.com</a> | <b>3M TPO EDGE SEALANT</b> |                         | MAXIMUM WARRANTY: <b>15 YEARS</b><br>ISSUE / REVISION DATE: <b>7/01/2014</b><br>NOT TO SCALE | DETAIL NO.<br><b>UT-C-2a</b> |
|   | ULTRAPLY <sup>™</sup> TPO  | ACCEPTABLE SYSTEMS: ALL |  |                              |



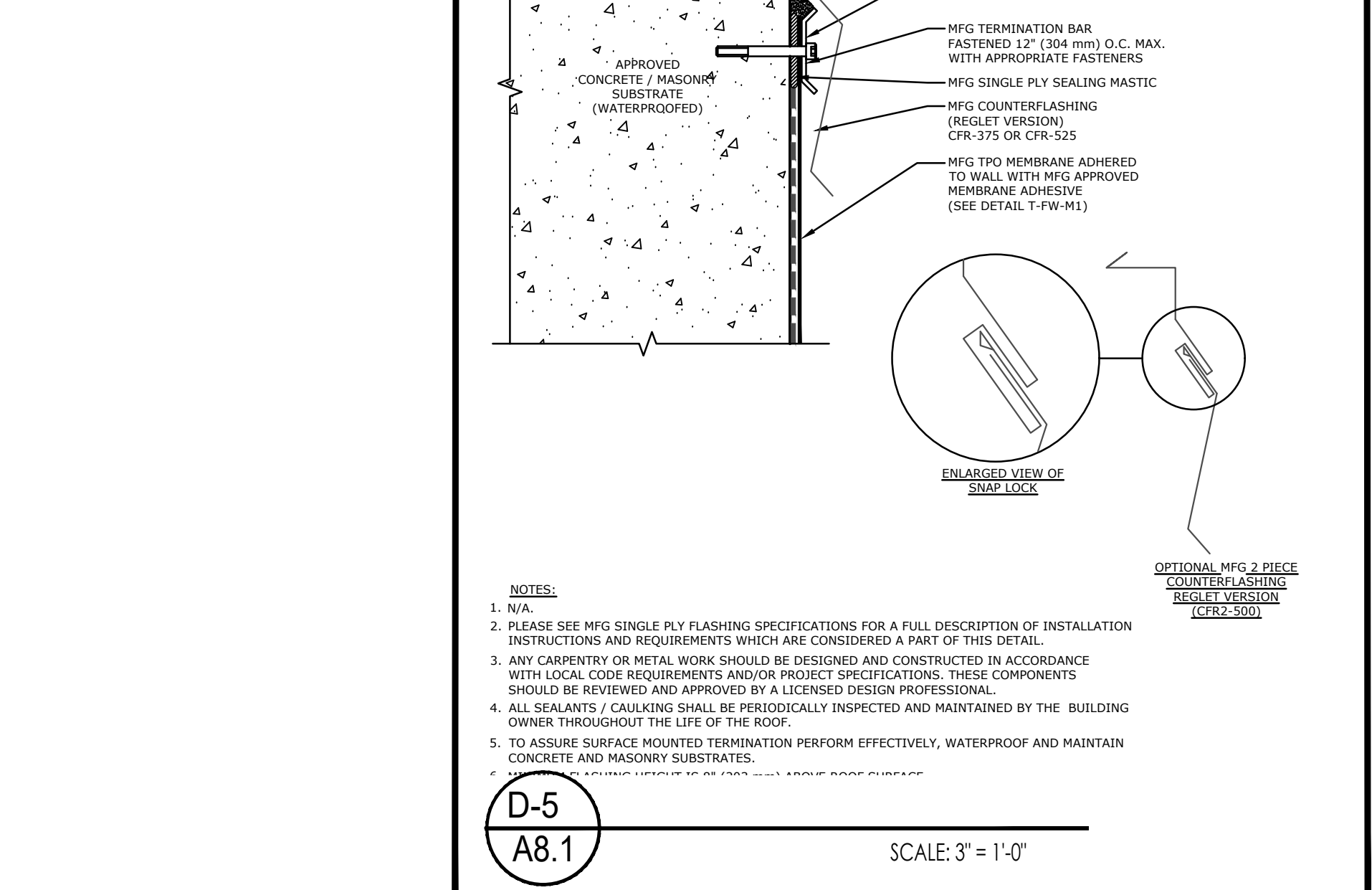
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|   | ULTRAPLY <sup>™</sup> TPO  | ACCEPTABLE SYSTEMS: ALL |  |                              |



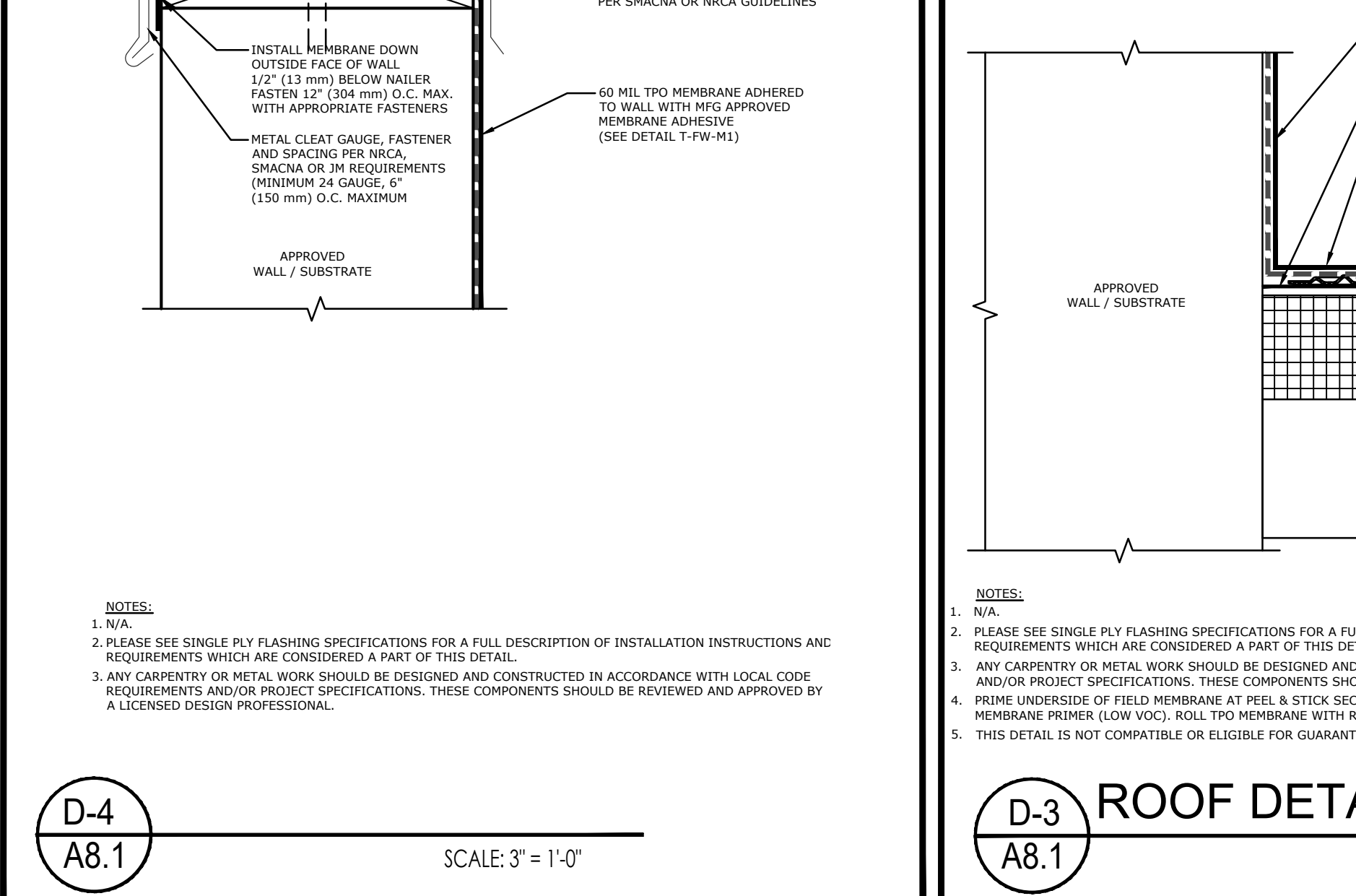
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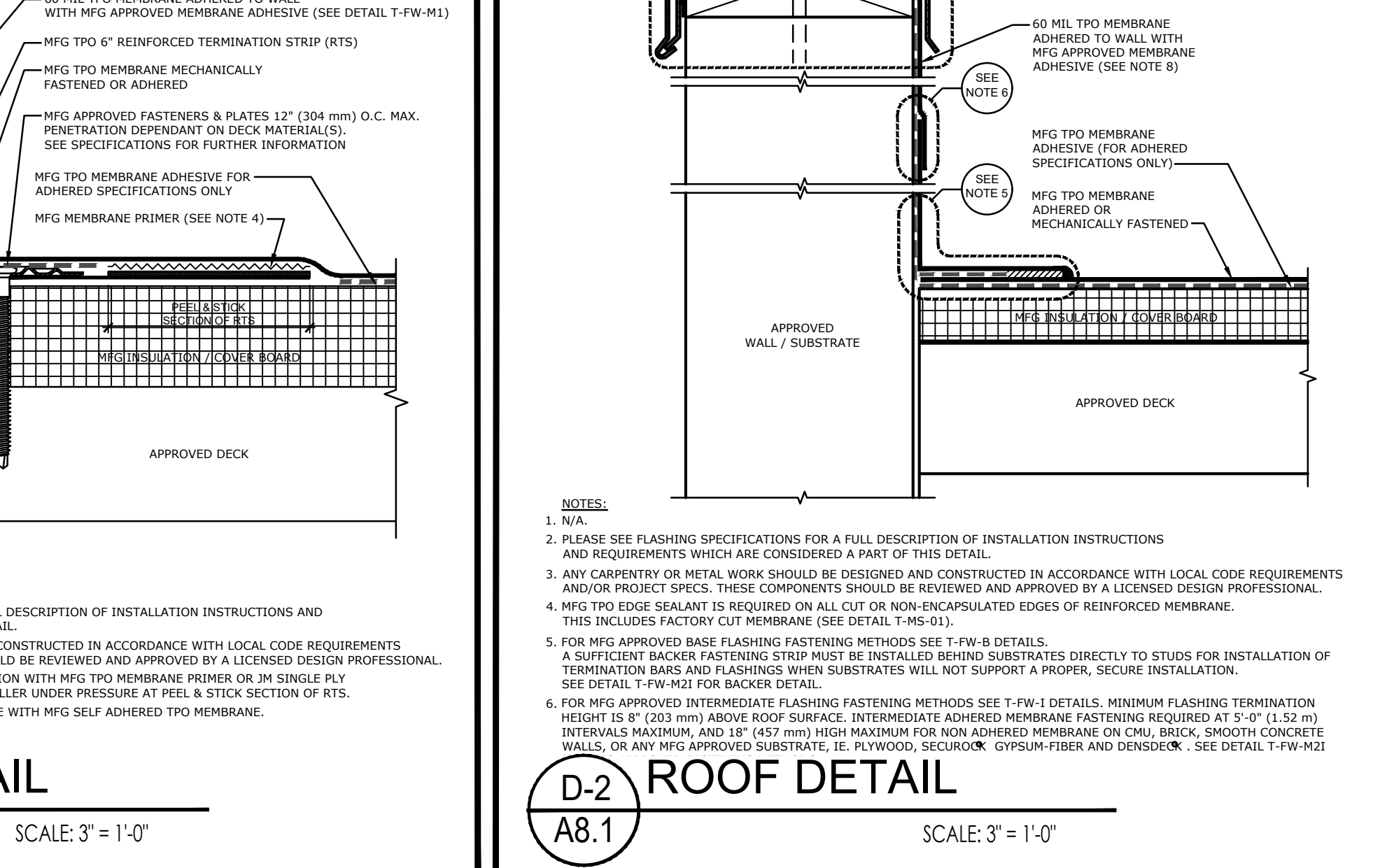
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|   | ULTRAPLY <sup>™</sup> TPO  | ACCEPTABLE SYSTEMS: ALL |  |                              |



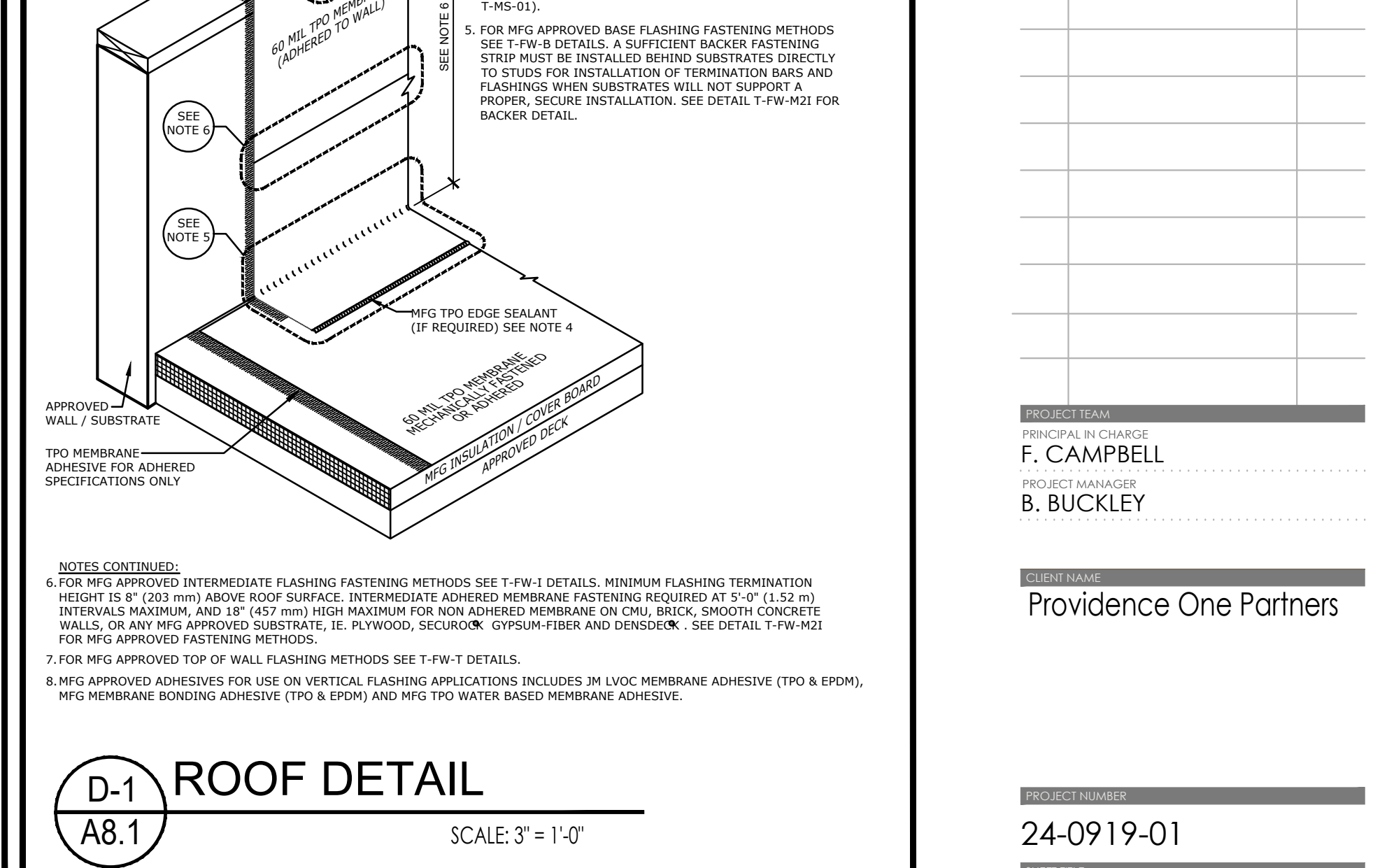
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|   | ULTRAPLY <sup>™</sup> TPO  | ACCEPTABLE SYSTEMS: ALL |  |                              |



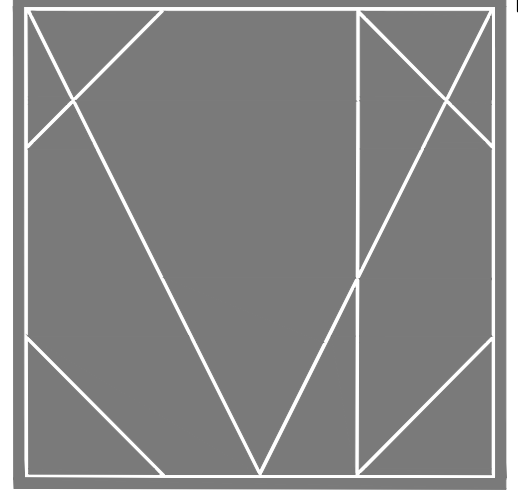
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**BUILDING - 02**  
**EMPTY SHELL BUILDING**  
**1165 BUSINESS CENTER DRIVE**  
**LAKE MARY, FLORIDA, 32746**

**CONSTRUCTION**

**10.24.2025**

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**PROJECT MANAGER:**  
**F. CAMPBELL**

**PROJECT MANAGER:**  
**B. BUCKLEY**

**PROVIDENCE ONE PARTNERS**

**24-0919-01**

**ROOF DETAILS**

**A8.1**